



City of Fort Atkinson
City Manager's Office
101 N. Main Street
Fort Atkinson, WI 53538

**PLAN COMMISSION MEETING
IN PERSON AND VIA ZOOM
TUESDAY, MAY 14, 2024 – 4:00 PM
CITY HALL – SECOND FLOOR**

<https://us02web.zoom.us/j/82214860406?pwd=TEVyUVdQM05VNFVzb0E2TUNTUjZlZz09>

Meeting ID: 822 1486 0406

Passcode: 53538

Dial by Location

+1 312 626 6799

If you have special needs or circumstances which may make communication or accessibility difficult at the meeting, please call (920) 397-9901. Accommodations will, to the fullest extent possible, be made available on request by a person with a disability.

AGENDA

- 1. Call meeting to order**
- 2. Roll call**
- 3. New Business**
 - a. Review and possible action relating to the **minutes of the April 23, 2024 regular Plan Commission meeting**
 - b. Review and possible recommendation to City Council relating to a request for **Public Monument Review for the Haumerson's Pond accessory structure** (Dayton, Parks and Recreation Director) (PMR-2024-01)
 - c. Review and possible action on a **Special Area Design Review for signage at McGee's Chicken** located at 122 N. Main St. (Draeger, Building Inspector/Zoning Administrator) (SADR-2024-02)
- 4. Adjournment**

Date Posted: May 10, 2024

Plan Commission Members: Chairperson Rebecca Houseman; Secretary Andy Selle; Council Representative Eric Schultz; and Commissioners Roz Highfield, Jill Kessenich, Loren Gray and Diana Shull

CC: City Council; City Staff; City Attorney; News Media; Fort Atkinson School District; Fort Atkinson Chamber of Commerce

Notice is hereby given that a majority of the Fort Atkinson City Council may be present at this meeting at the location and time indicated above to gather information about any subject matters on this agenda over which they have decision-making responsibility. This may constitute a meeting of the City Council pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis.2d. 553, 494 N.W.2d 408 (1993), and must be noticed as such although the City Council will not take any formal action at this meeting.

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**PLAN COMMISSION MEETING
IN PERSON AND VIA ZOOM
TUESDAY, APRIL 23, 2024 – 4:00 PM
CITY HALL – SECOND FLOOR**

MINUTES

1. Call meeting to order

Chairperson Manager Houseman called the meeting to order at 4:00 pm.

2. Roll call

Plan Commission Members: Chairperson Houseman; Engineer Selle; and Commissioners, Gray and Shull. Also present: City Attorney, City Clerk/Treasurer and Building Inspector.

Council Representative Schultz arrived at 4:05 pm.

Cm. Kessenich and Highfield absent.

3. New Business

a. Public Hearing: Conditional Use Permit relating to a new wireless telecommunications service facility located in the 1500 block of Commonwealth Drive (Draeger)

Inspector Draeger presented the request from the applicant whom has indicated that a lease agreement has been established with the property owner for use of the current vacant property along Commonwealth Drive for a future communication tower use. The property owner will need to provide an affidavit prior to Plan Commission approval, indicating their approval of the application submitted by the potential lessee. The existing property is 0.8 acres, located directly south of Family Dollar, west of Pick n' Save, north of residential apartments, and east of an existing vacant property. There are no existing structures or access points on the site, but stormwater detention areas exist near the northern and western property lines. The stormwater detention in place serves the property to the north. Previously ownership of the adjacent parcel and this one was the same, but has since been sold. The stormwater pond in place should be attached to the north parcel using a quit claim deed or similar, as a condition of Plan Commission approval. The proposed development includes a 193-foot metal communication tower, access drive and Page 3 of 95 utility easement from Commonwealth Drive, and ground-level equipment structures. Additionally, landscaping and fencing surrounding the tower and equipment structures is also proposed.

Chairman Houseman opened the Public Hearing at 4:08 pm.

Julie Baniqued, LCC Telecom Services of Rosemont, Illinois was present on behalf of Tillman Infrastructure Inc

Andrew Flowers, Senior Real Estate Construction Manager with ATT Mobility was present.

Chairman Houseman closed the Public Hearing at 4:12 pm.

Chairman Houseman inquired on the tower on Cloute/Zaffke Street and believed there is space on that tower to add features. Flowers stated ATT needs a tower higher than what is situated at Cloute Street/Zaffke Street. Baniqued replied the Cloute tower is located near the water tower which they had concerns the tower would block and create signal challenges. lowers commented that US Cellular and ATT have different needs for coverage based on their network. Flowers stated he would investigate into the existing tower on Cloute Street.

Engineer Selle asked about the height of the proposed tower. Flowers discussed their requirements based on their network.

Chairperson Houseman inquired on the wood fencing featured. Baniqued replied she could look into options of material.

Engineer Selle asked if the stormwater condition will be met by the owner or lessee. Baniqued was unsure who would meet the condition but would confirm.

Houseman questioned should a property be sold with an existing tower, what would that look like. Flowers stated with a signed lease agreement, if the owner sold the land, the buyer would have to follow the terms of the agreement and any easements.

Cm. Schultz commented on the height as this would be the tallest structure in the City. Baniqued added there is no lighting required on the tower to draw attention to it. They tried to make seamless and fitting as possible.

Engineer Selle asked if they cannot accomodate the 173 feet tall, what are the other options. Flowers added that engineers designed the specific height to their need. They performed a search area and a 190 foot tower was the original estimate however after analyzing, they did not want to build any higher than needed and yet wanted to be conscious of taking care of other entities. Flowers can check into options of a monopole and report back to City staff.

No action was taken.

4. Adjournment

Cm. Gray moved, seconded by Cm. Schultz at 4:34 pm.

Respectfully submitted,
Michelle Ebbert
City Clerk/Treasurer



PUBLIC MONUMENT REVIEW REPORT TO THE PLAN COMMISSION

DATE: May 14, 2024

FILE NUMBER: PMR-2024-01

PROPERTY ADDRESS: 550 S. Fourth Street, Fort Atkinson, WI 53538

EXISTING ZONING: Institutional

PARCEL NUMBER: N/A

PROPOSED ZONING: N/A

OWNER: City of Fort Atkinson

EXISTING LAND USE: Recreational Use

APPLICANT: Ben Dayton, Parks & Recreation Director **REQUESTED USES:** Recreational Use

BACKGROUND

The Parks and Recreation Department staff has collaborated closely with the Friends of Haumerson's Pond (FHP) over the years, striving to enhance amenities and facilities at the Bark River Nature Park (Haumerson's Pond). Most recently, the proposal for a new storage and concessions building was presented to the Planning Commission on April 11, 2023, as part of a Request for Resolution Recommendation. This step was necessitated by the Wisconsin Department of Natural Resources (DNR) to fulfill the Knowles-Nelson Stewardship grant application requirements. Subsequently, on April 18, 2023, the City Council endorsed Resolution No.1399 in favor of the city entering an Agreement/Contract with cost-sharing grant assistance from the DNR.

On January 5, 2024, the City received confirmation of being awarded \$100,000 from the DNR Knowles-Nelson Stewardship grant program, representing a 50% matching funds grant. The remaining project costs are being covered by contributions from the Friends of Haumerson's Pond (FHP) and the Fort Atkinson Community Foundation. The project is currently budgeted at around \$200,000.

After securing the DNR grant, City staff have been actively engaged with the Friends of Haumerson's Pond (FHP) to develop the design for a multi-use storage/concession building and to fulfill all requirements for the Public Monument/Building Review application. City staff is requesting approval of the site plan and building design through the Public Monument/Building Review process.

REQUEST OVERVIEW

The design of the storage/concession building is intended to support the operations at Bark River Nature Park (Haumerson's Pond). This project is supported through the Parks and

Recreation Department's Comprehensive Outdoor Recreation Plan and the City's Comprehensive Plan.

The proposed building measures 26'x44' including a 24'x24' open air timber frame shelter. The enclosed garage space will serve as essential storage for many items needed to run the operations at the park, including snow removal equipment, hockey equipment, donated skates, items for two large events, ten tables, fifty-five chairs, church pews, rubber mats, three panels of chain link security fence for flood openings, and small hand tools. In addition to the storage component, there is a concessions window within the shelter area. The idea behind the concessions window is to offer skate rentals through 2 Rivers, collect donations for events, and to add to the amenities when the shelter is rented for use as a serving area. Additionally, the plan includes a proposed wood-fire pizza oven that would utilize the concessions window during events held at the park. An outdoor drinking fountain, including a dog water bowl, has also been included in the site plan.

Haumerson's Pond Warming Shelter is the Department's most rented space, accounting for almost 40% of all shelter rentals.

The design of the building is consistent with the current shelter regarding the brick exterior and similar roof pitch to complement the park's natural setting. Staff have been keenly aware of the building location in relation to the nearby flood plain, ensuring that it is not impacted by potential flood events. The elevations of the building included in the packet DO NOT show two proposed faux windows on the street facing side of the brick structure. These will be added to meet code requirements and improve aesthetics.

In addition to the building itself, the proposed project encompasses enhancements to the existing landscaping and introduces new plantings. This initiative aims not only to enhance the property's esthetics but also to provide increased screening for residents along Zida Street. Departing from the existing deciduous bushes, which offer inconsistent coverage throughout the year, the new landscaping plan prioritizes coniferous trees and shrubs. Around the building, smaller, low-maintenance grasses and shrubs will be employed to enhance the overall landscape design.

LANDSCAPING

Type	Required	Proposed	Surplus	Status
Foundation	40	48	8	Met
Pave Area	50	20	0	Met with surplus
Lot	100	40	0	Met with surplus
Yard	20	33	13	Met
Buffer yard	209	594	385	Met
Total	389	735		

Not required

DISCUSSION

COMPREHENSIVE LAND USE PLAN (2019):

The Comprehensive Plan includes an entire chapter (9) on Fort Atkinson Parks. Specific reference is made to the Bark River Nature Park and Haumerson's Pond warming house that indicates a goal to "enhance the area adjacent to the warming house for 3-season use." This plan has been followed throughout the development of the Haumerson Pond area, and this element is in keeping with the intent of the Comprehensive Plan.

MAINTENANCE PLAN FOR MONUMENT:

On April 27, 2023, the City entered a Memorandum of Understanding (MOU) with the Friends of Haumerson's Pond, solidifying their collaborative effort to maintain and oversee the newly constructed building's operations. In this agreement, the City commits to the perpetual maintenance and operation of the building, encompassing regular cleaning, repairs, and upkeep of both the building and its surrounding grounds. In addition, the FHP agrees to support the City, helping as necessary to ensure the smooth and successful operation and maintenance of the building.

FUNDING:

In addition to the grant mentioned above, on April 26, 2022, the Friends of Haumerson's Pond was awarded a matching challenge grant through the Fort Atkinson Community Foundation of \$45,000 to help build a storage/concession building for use at Haumerson's Pond. Additional funding beyond the matching grants will be provided by the Friends of Haumerson's Pond.

The project will be publicly bid and overseen by City staff. The FHP organization will be managing and donating the timber frame portion of the project as their contribution.

RECOMMENDATION

Staff recommends that the Plan Commission review the application and recommend that the City Council approve this request for a Public Monument/Building Review.

ATTACHMENTS

1. PCom Plan Set
2. Haumerson Photometric
3. Timber frame shelter portion



Friends of Haumerson's Pond Pavilion Site Plan

Prepared for the City of Fort Atkinson

April 16, 2024

Proposed Improvements

- | | |
|-------------------------------------|---------------------------|
| 1. Storage and picnic prep building | 7. Firepit 1 |
| 2. Driveway | 8. Firepit 2 |
| 3. Picnic pavilion | 9. Flagpole |
| 4. Wood-fired pizza oven | 10. Bird feeder |
| 5. Firewood storage structure | 11. Park landscape buffer |
| 6. Drinking fountain & dog bubbler | 12. Turf open play area |

GENERAL NOTES

1. USE LATEST EDITION OR REVISION FOR ALL REFERENCED CODES AND/OR STANDARDS.
2. CONSULT ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR LOCATION AND DIMENSIONS OF CURBS, PADS, INSERTS, SLEEVES, DRIPS, REGLETS, REVEALS, DEPRESSIONS, AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON STRUCTURAL DRAWINGS.
3. SIZE AND LOCATION OF ALL ROOF, FLOOR, AND WALL OPENINGS TO BE VERIFIED WITH MECHANICAL AND ELECTRICAL CONTRACTORS REQUIRING SUCH OPENINGS.
4. CONSULT ARCHITECT FOR ANY NECESSARY DIMENSIONS WHICH ARE NOT SHOWN ON PLANS. SCALING OF DRAWINGS IS NOT PERMITTED.
5. SIMILAR PORTIONS OF THE BUILDING SHALL HAVE SIMILAR DETAILING UNLESS NOTED OTHERWISE.
6. ELEVATIONS SHOWN ON PLAN ARE BASED ON 100'-0" AS FINISHED FIRST FLOOR ELEVATION.
7. ELEVATIONS SHOWN ON PLANS ARE TO TOP OF STEEL, CONCRETE, OR PLYWOOD SHEATHING, UNLESS NOTED OTHERWISE.
8. ALL WORK SHALL CONFORM TO OSHA REQUIREMENTS.
9. STRUCTURAL MEMBERS INCLUDING JOISTS, SLABS, BEAMS, TRUSSES, COLUMNS, AND WALLS ARE DESIGNED FOR "IN PLACE" LOADS. CONTRACTOR IS RESPONSIBLE FOR BRACING, WITHOUT OVER STRESSING, ALL STRUCTURAL ELEMENTS (AS REQUIRED AT ANY STAGE OF CONSTRUCTION) UNTIL COMPLETION OF THIS PROJECT.
10. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY THE ARCHITECT.
11. SUBMIT REPRODUCIBLE COPY OF ALL STRUCTURAL SHOP DRAWINGS.

DESIGN CRITERIA

DESIGN CODE INTERNATIONAL BUILDING CODE 2015 w/ WISCONSIN AMENDMENTS	
WIND LOAD INFORMATION	
BASIC WIND SPEED	115 mph
BUILDING CODE OCCUPANCY CATEGORY	S (STORAGE)
WIND LOAD IMPORTANCE FACTOR - Iw	1.00
WIND EXPOSURE	B
INTERNAL PRESSURE COEFFICIENTS	±0.18
COMPONENTS AND CLADDING WIND PRESSURES	
WIDTH OF PRESSURE COEFFICIENT ZONE - a	7.7 ft

DESIGN PROPERTIES

REINFORCING STEEL STRENGTHS	
BARS - ASTM A615, GRADE 60	Fy = 60,000 psi
WWF - ASTM A165	Fy = 65,000 psi
BOLT STRENGTHS	
ANCHOR BOLTS - ASTM A307 OR A36	
HIGH STRENGTH BOLTS - ASTM A325N	
EXPANSION BOLTS - WEDGE TYPE	
CAST-IN-PLACE CONCRETE STRENGTHS	
FOOTINGS	fc = 3,000 psi
WALLS	fc = 4,000 psi
SLAB ON GRADE	fc = 4,000 psi
PRECAST CONCRETE TOPPING	fc = 4,000 psi
SITE PAVEMENT - CURBS	fc = 3,000 psi
CONCRETE MASONRY STRENGTHS	
CMU - ASTM C90, GRADE N	fm = 1,500 psi
CONCRETE BRICK - ASTM C55, GRADE N	fm = 2,500 psi
CLAY HOLLOW BRICK - ASTM C652, GRADE SW	fm = 3,000 psi
MORTAR - ASTM C270	
TYPE M - BELOW GRADE	fu = 2,500 psi
TYPE S - ABOVE GRADE	fu = 1,800 psi
GROUT - ASTM C476	
BOND BEAMS	fc = 3,000 psi
WALLS AND PIERS	fc = 3,000 psi

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11. SUBMIT REPRODUCIBLE COPY OF ALL STRUCTURAL SHOP DRAWINGS.

REINFORCING NOTES

1. REINFORCING SHALL BE DETAILED IN ACCORDANCE WITH ACI 315 (CURRENT EDITION).
2. ALL LAPS SHALL BE CLASS 'B' PER ACI 318 UNLESS OTHERWISE NOTED ON THE DESIGN DRAWINGS, OR UNLESS THE DETAILER TAKES SPECIAL CARE TO PROVIDE STAGGERED LAPS. USE TOP BAR LAP LENGTHS FOR ALL HORIZONTAL WALL BARS AND FOR TOP BARS IN SLABS AND BEAMS OVER 12 INCHES DEEP.
3. LAP LENGTH SHALL BE SPECIFICALLY NOTED ON PLACING DRAWINGS WHERE MORE THAN ONE BAR MAKES UP A CONTINUOUS STRING.
4. CORNER BARS WITH CLASS 'B' PER ACI 318 LAPS SHALL BE PROVIDED AT ALL WALL CORNERS AND INTERSECTIONS PER DETAIL 1/S-3.1.
5. HORIZONTAL BARS, EXCEPT FOR CONTINUOUS STRINGS FROM ONE CORNER OF OPENING TO ANOTHER, SHALL BE DETAILED TO SHOW THE DISTANCE FROM AT LEAST ONE END OF THE BAR TO THE NEAREST BUILDING GRID LINE OR WALL.
6. WELDED WIRE FABRIC SHALL BE LAPPED AND/OR ANCHORED TO DEVELOP Fy PER ACI 315.
7. PROVIDE MINIMUM COVER PER ACI 318, 7.7.1.
8. PROVIDE REINFORCING AT CONCRETE OPENINGS PER DETAIL 2/S-3.1.
9. PROVIDE TYPICAL VERTICAL WALL JOINTS PER DETAIL 3/S-3.1.
10. PROVIDE ISOLATION BOARD WHERE SLABS ABUT VERTICAL SURFACES PER DETAIL 4/S-3.1.
11. PROVIDE FOOTING STEPS PER DETAIL 5/S-3.1.
12. PROVIDE SLAB ON GRADE CONSTRUCTION AND CONTROL JOINTS PER DETAILS 6 & 7/S-3.1.

MILD REINFORCING STEEL MINIMUM CLEAR COVER

CONCRETE CAST AGAINST EARTH AND PERMANENTLY EXPOSED TO EARTH	
FOOTINGS	3" MIN

CONCRETE EXPOSED TO EARTH OR WEATHER	
WALLS, COLUMNS, & BEAMS	
BARS UP TO #5	1½" MIN
#6 BARS AND UP	2" MIN

CONCRETE NOT EXPOSED TO EARTH OR WEATHER	
WALLS	
BARS UP TO #11	¾" MIN
#14 BARS AND UP	1½" MIN
ELEVATED SLABS	
TOP BARS	¾" MIN
BOTTOM BARS	1" MIN
BEAMS	
ALL BARS	1½" MIN
COLUMNS	
ALL BARS	1½" MIN

TRUSS DESIGN LOADS

BUILDING OCCUPANCY CATEGORY	S
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SNOW LOADS	
IMPORTANCE FACTOR - Is	1.0
EXPOSURE FACTOR - Ce	1.0
THERMAL FACTOR - Ct	1.1
GROUND SNOW LOAD - Pg	30.0 psf
FLAT ROOF SNOW LOAD - Pf	21.0 psf
UNBALANCED SNOW LOAD	43.2 psf

APPLY DESIGN DRIFT LOADS TO ROOF TRUSSES WHERE REQUIRED BY CODE.

COORDINATE SIZE AND LOCATION OF RTUs WITH SUPPLIER.

WIND LOADS	
IMPORTANCE FACTOR - Iw	1.00
BASIC WIND SPEED - V	115 mph
EXPOSURE CATEGORY	B

DEAD LOADS	
ROOF DEAD LOAD	20 psf (10 TOP CHORD & 10 BOTTOM CHORD)
FLOOR DEAD LOAD	25 psf (15 TOP CHORD & 10 BOTTOM CHORD)

DEFLECTION LIMITS	
ROOF	
	LIVE LOAD L/360
	TOTAL LOAD L/240
FLOOR	
	LIVE LOAD L/480
	TOTAL LOAD L/360

ROOF TRUSS BRACING NOTES

1. ALL BRACING SHOWN OR DESCRIBED SHALL BE MINIMUM 2x4 WITH 2- 16d IN EVERY TRUSS IT CROSSES.
2. ALL TRUSS TOP CHORDS SHALL BE CONTINUOUSLY BRACED BY THE ROOF DECKING.
3. ALL TRUSS WEB MEMBERS SHALL BE BRACED AT 4'-0" OC, UNLESS CALCULATIONS SHOW OTHERWISE.
4. ALL HORIZONTAL BRACING SHALL BE STIFFENED AT 20'-0" OC WITH EITHER:

a. DIAGONAL BRACING EXTENDED TO A SHEAR WALL PARALLEL TO THE ORIGINAL BRACING. SEE BRACING DETAIL -/S- FIGURES 1(a) THROUGH 1(d).

b. A ¾" PLYWOOD SHEET EXTENDED TO ROOF DECK OR SHEAR WALL.
5. ALL TRUSS BOTTOM CHORDS SHALL BE BRACED AT 6'-0" OC UNLESS CALCULATIONS SHOW OTHERWISE. CONTINUOUS SHEATHING APPLIED TO BOTTOM CHORD WILL SATISFY THIS BRACING REQUIREMENT.

WOOD TRUSS NOTES

WOOD TRUSS SHOP DRAWINGS SHALL SHOW THE FOLLOWING INFORMATION:

1. INFORMATION WHICH THE RESPONSIBLE BUILDING DESIGN PROFESSIONAL WILL CHECK FOR COMPLIANCE WITH CONTRACT DOCUMENTS.

a. ERECTION PLAN: SHOWING DIMENSIONED LOCATIONS AND TRUSS IDENTIFICATION.

b. BEARING DETAILS: SHOWING BEARING LENGTH, WIDTH, AND DEPTH INDICATING CONFORMANCE TO TRUSS CALCULATIONS.

c. DESIGN LOADS: ALL DEAD AND LIVE LOADS SHALL BE SHOWN ON THE FRAMING PLAN AND/OR TRUSS ELEVATION INDICATING CONFORMANCE TO TRUSS CALCULATIONS.

d. ALL PERMANENT BRACING: SHOW TOP CHORD, BOTTOM CHORD, AND WEB MEMBER BRACING ON FRAMING PLAN AND TRUSS ELEVATION. SUPPLIER AND INSTALLER OF THIS BRACING SHALL ALSO BE INDICATED.

e. TRUSS DIMENSIONS: SHOW DEPTH, SPAN, BEARING, HEIGHT, AND SLOPES AT ALL CRITICAL POINTS.
2. INFORMATION THAT SHALL BE THE RESPONSIBILITY OF THE FABRICATOR AND TRUSS DESIGNER AND SHALL BE PROVIDED FOR INFORMATION WITH THE SHOP DRAWING SUBMITTAL.

a. MEMBER DESIGN: INCLUDING WEB CONFIGURATION, MEMBER SIZE, GRADE OF LUMBER, FABRICATED SPLICES, REACTIONS, AND MEMBER BRACING REQUIRED BY TRUSS DESIGN.

b. INTERIOR CONNECTIONS: DESIGN AND SHOW DETAIL OF WEB AND CHORD CONNECTIONS INCLUDING PLATE AND BOLT SIZES.

c. MEMBER CONNECTIONS: DESIGN AND INDICATE ALL NECESSARY HARDWARE FOR PROPER INSTALLATION OF TRUSSES INCLUDING, BUT NOT LIMITED TO: GIRDER PLY CONNECTIONS, TRUSS-TO-GIRDER CONNECTIONS, TIE-DOWNS, AND FIELD SPLICES.

d. STRUCTURAL DESIGN OF TRUSSES: SUBMIT COMPLETE TRUSS CALCULATIONS AND OBTAIN ALL APPROVALS NECESSARY FOR CONFORMANCE TO BUILDING CODE.
- VERIFY SUBMITTAL AND APPROVAL BY SENDING COPY TO BUILDING DESIGN PROFESSIONAL.

a. PROVIDE CONTRACT/INSTALLER WITH ALL DATA NECESSARY FOR PROPER INSTALLATION.

CODE SUMMARY

REFERENCED CODES: IBC 2015; IECC 2015

USE AND OCCUPANCY CLASSIFICATION:
STORAGE, GROUP S-2

BUILDING AREA (TABLE 506.2):
ALLOWABLE: 13,500 SQ. FT. PER STORY (NOT SPRINKLERED)
ACTUAL BUILDING AREA: 1,144 SQ. FT.

TYPE OF CONSTRUCTION:
TYPE VB; (NOT SPRINKLERED)

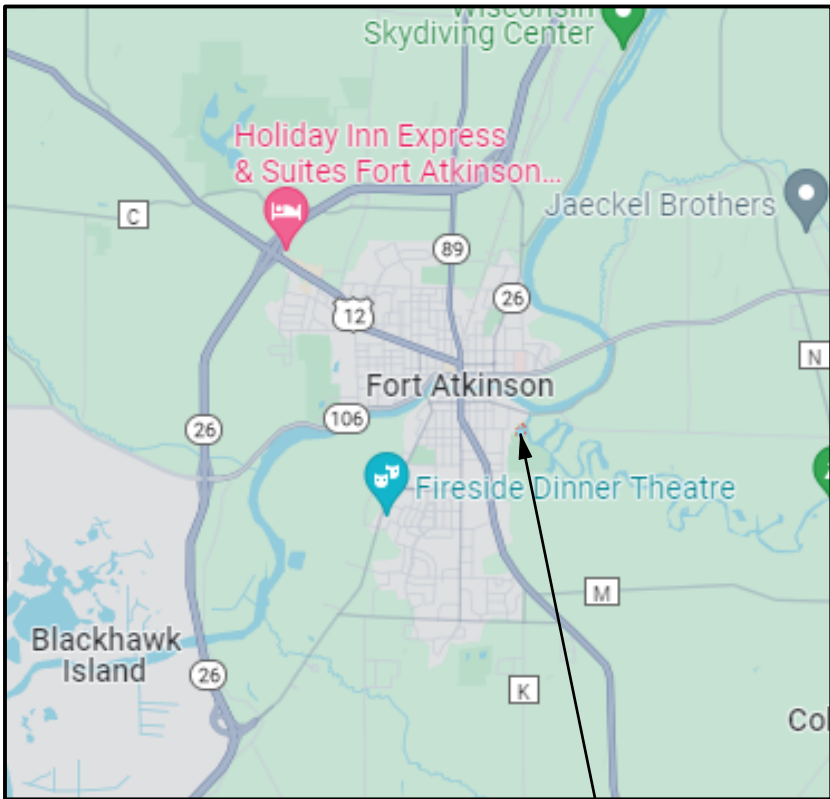
FIRE-RESISTANCE RATING REQUIREMENTS (TABLES 601 & 602)	
PRIMARY STRUCTURAL FRAME	0 HOUR RATING
BEARING WALLS (EXTERIOR)	0 HOUR RATING
BEARING WALLS (INTERIOR)	0 HOUR RATING
NONBEARING WALLS AND PARTITIONS (EXTERIOR)	0 HOUR RATING
FIRE SEPARATION DISTANCE 0-5 FT.	0 HOUR RATING
FIRE SEPARATION DISTANCE 5-10 FT.	0 HOUR RATING
FIRE SEPARATION DISTANCE 10-30 FT.	0 HOUR RATING
FIRE SEPARATION DISTANCE ≥ 30FT.	0 HOUR RATING
NONBEARING WALLS AND PARTITIONS (INTERIOR)	0 HOUR RATING
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR RATING
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR RATING

HAUMERSON'S
POND STORAGE
BUILDING

FORT ATKINSON, WI 53538

ARCHITECT / ENGINEER:

COLD SPRING DESIGN, LLC
222 SOUTH MAIN STREET
FORT ATKINSON, WI 53538
PHONE: (920)568-9530
CONTACT: CONOR NELAN



VICINITY MAP

NOT TO SCALE

PROJECT LOCATION



HAUMERSON'S POND STORAGE BUILDING

FORT ATKINSON, WI 53538

CSD PROJECT #: 2334

SCALE: AS NOTED
DATE: 2/21/2024
DRAWN BY: JM
CHECKED BY: CFN

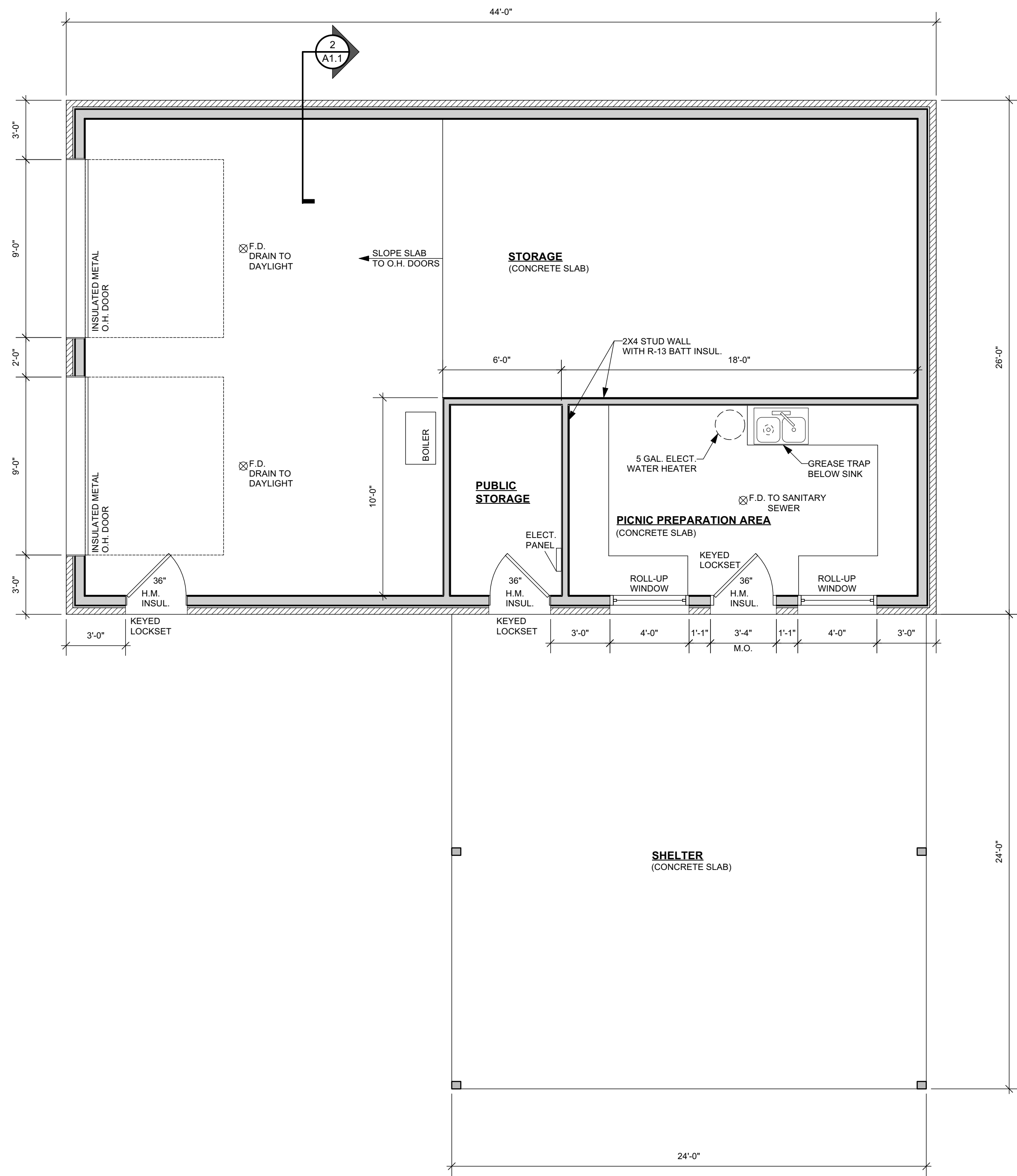
T1.1

Cold Spring Design

222 South Main Street
Fort Atkinson, WI 53538
P (920)568-9530
F (920)568-9531

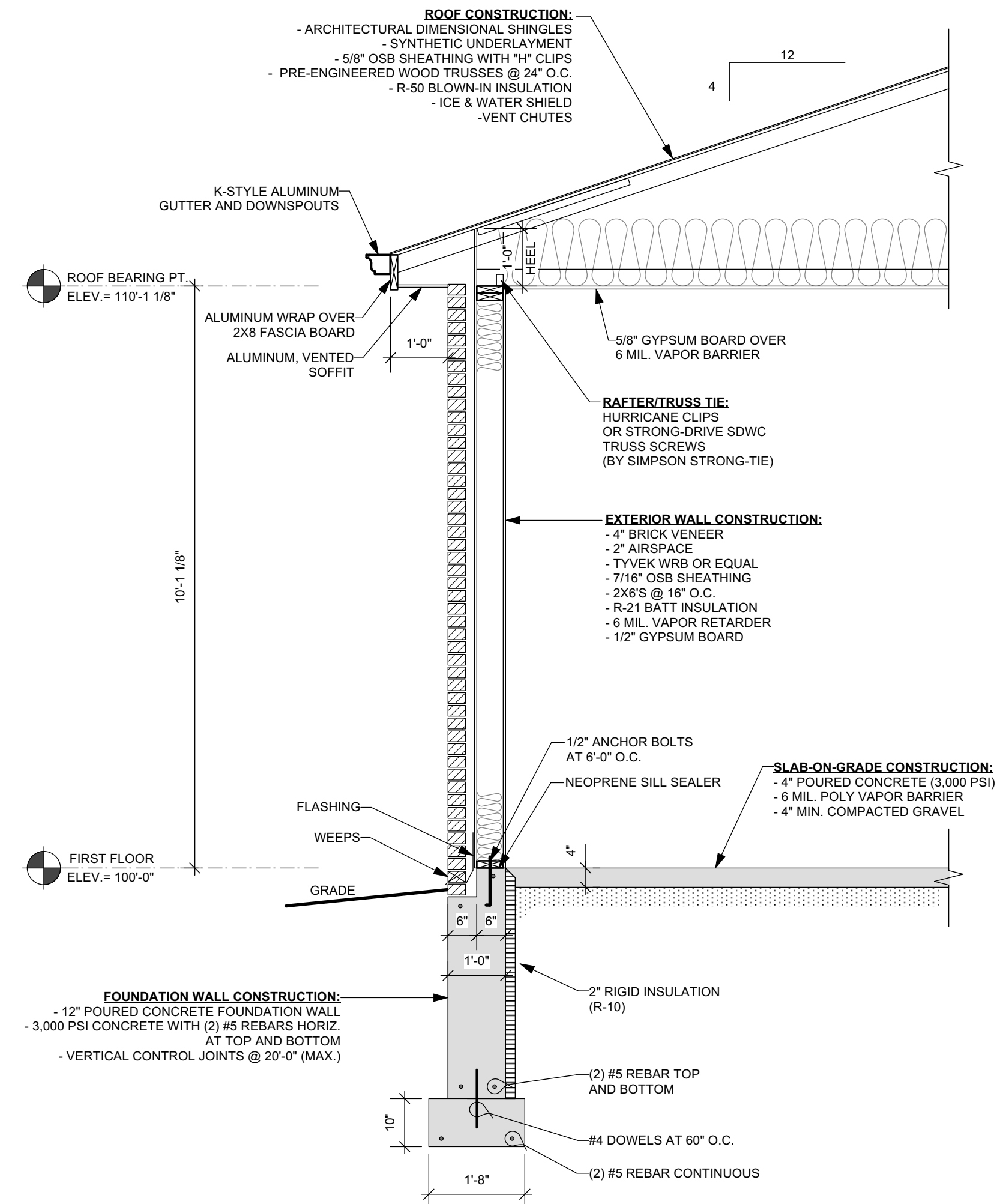
ISSUE

DATE	DESCRIPTION

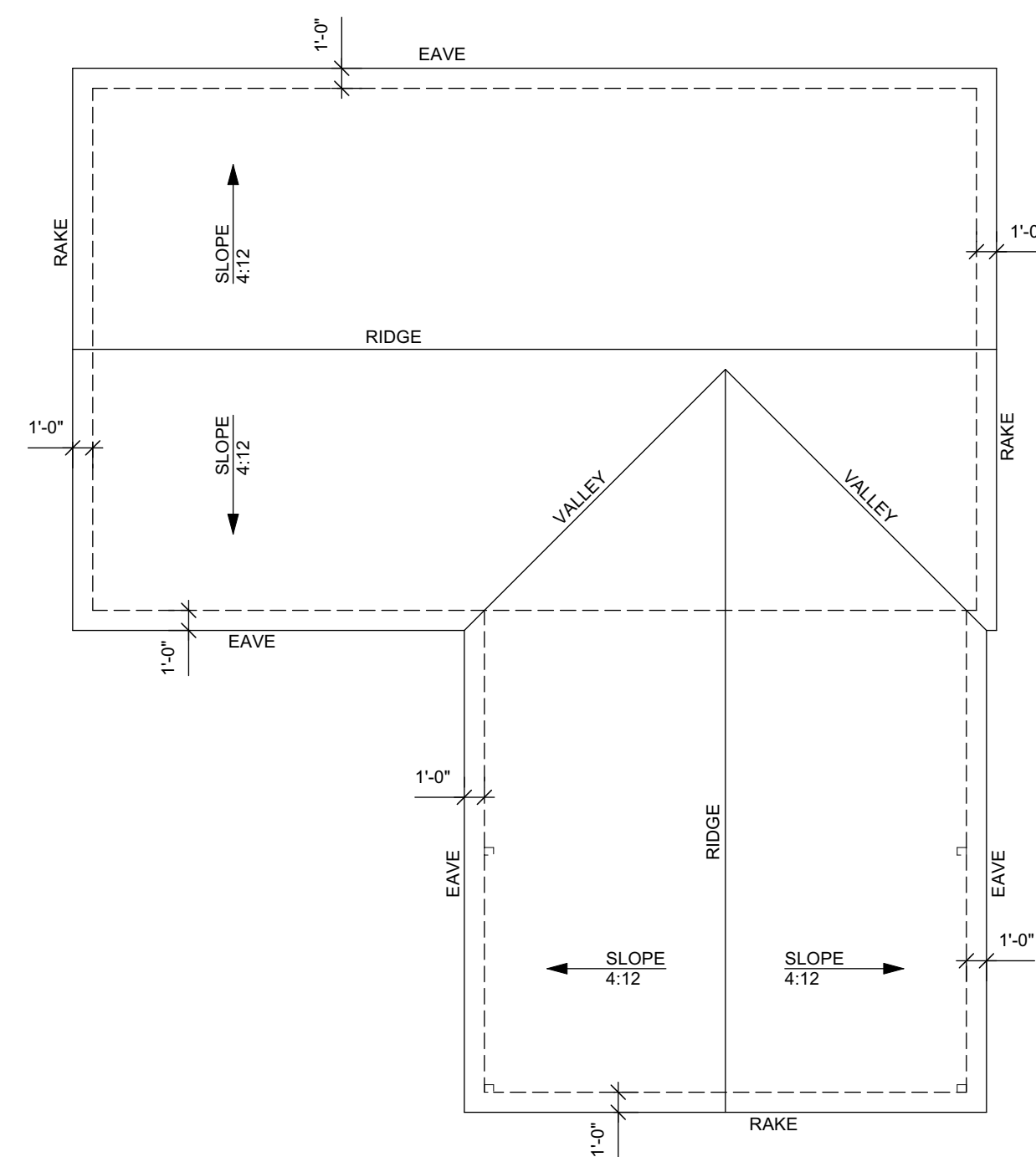


1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

* NOTE: PROVIDE ARCHED BRICK LINTELS ABOVE EACH WINDOW AND DOOR OPENING



2 WALL SECTION
SCALE: 1/2" = 1'-0"



3 ROOF PLAN
SCALE: 1/8" = 1'-0"

Cold Spring Design

222 South Main Street
Fort Atkinson, WI 53538
P (920)568-9530
F (920)568-9531

ISSUE

DATE	DESCRIPTION

HAUMERSON'S POND STORAGE BUILDING

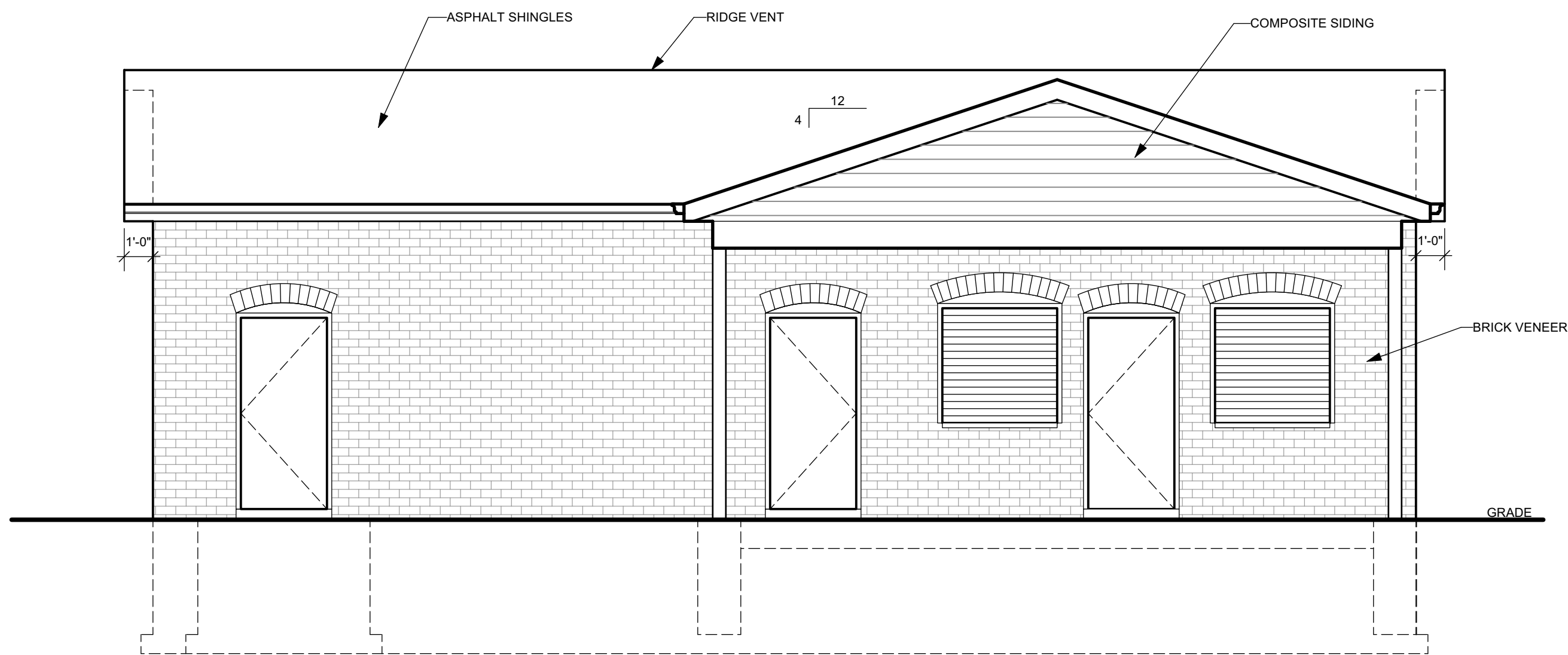
FORT ATKINSON, WI 53538

CSD PROJECT #: 2334

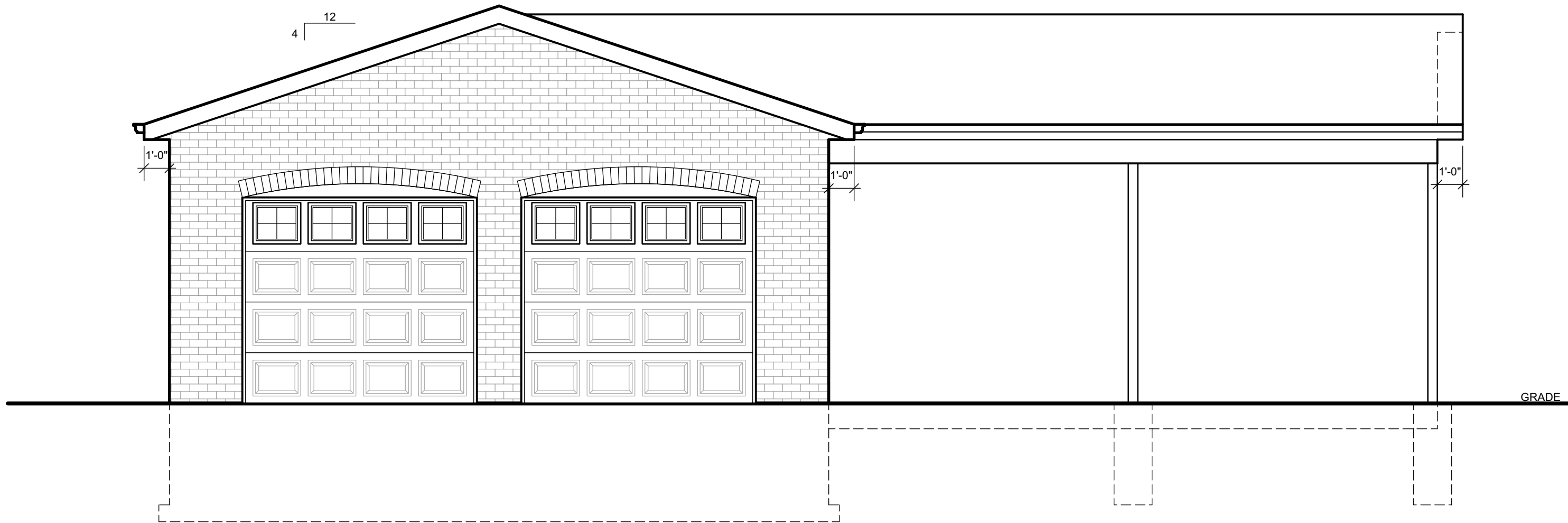
SCALE: AS NOTED
DATE: 2/21/2024
DRAWN BY: JM
CHECKED BY: CFN

FLOOR PLAN; WALL
SECTION; AND ROOF
PLAN

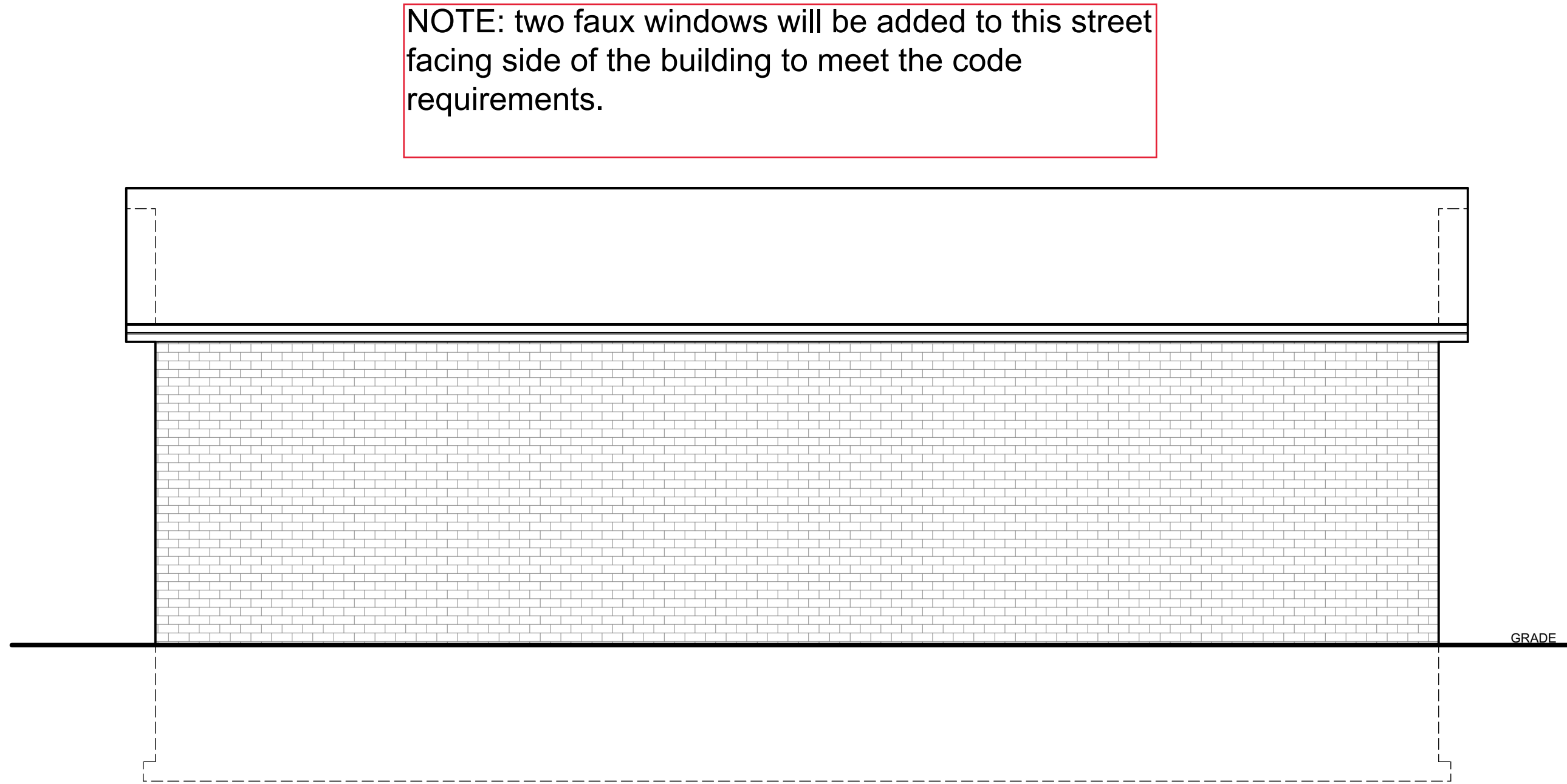
A1.1



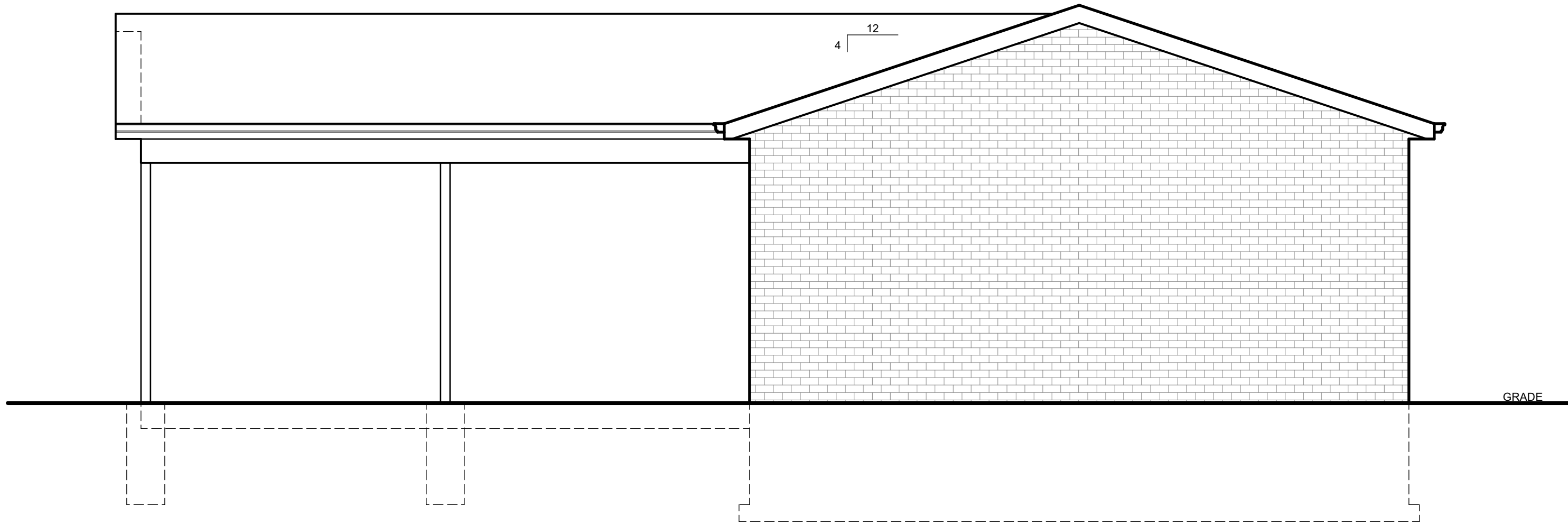
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Cold Spring Design

222 South Main Street
Fort Atkinson, WI 53538
P (920)568-9530
F (920)568-9531

ISSUE	
DATE	DESCRIPTION
2/21/2024	Initial Design

HAUMERSON'S POND STORAGE BUILDING

FORT ATKINSON, WI 53538

CSD PROJECT #: 2334

SCALE: AS NOTED
DATE: 2/21/2024
DRAWN BY: JM
CHECKED BY: CFN

ELEVATIONS

A2.1

ISSUE	
DATE	DESCRIPTION

HAUMERSON'S POND STORAGE BUILDING

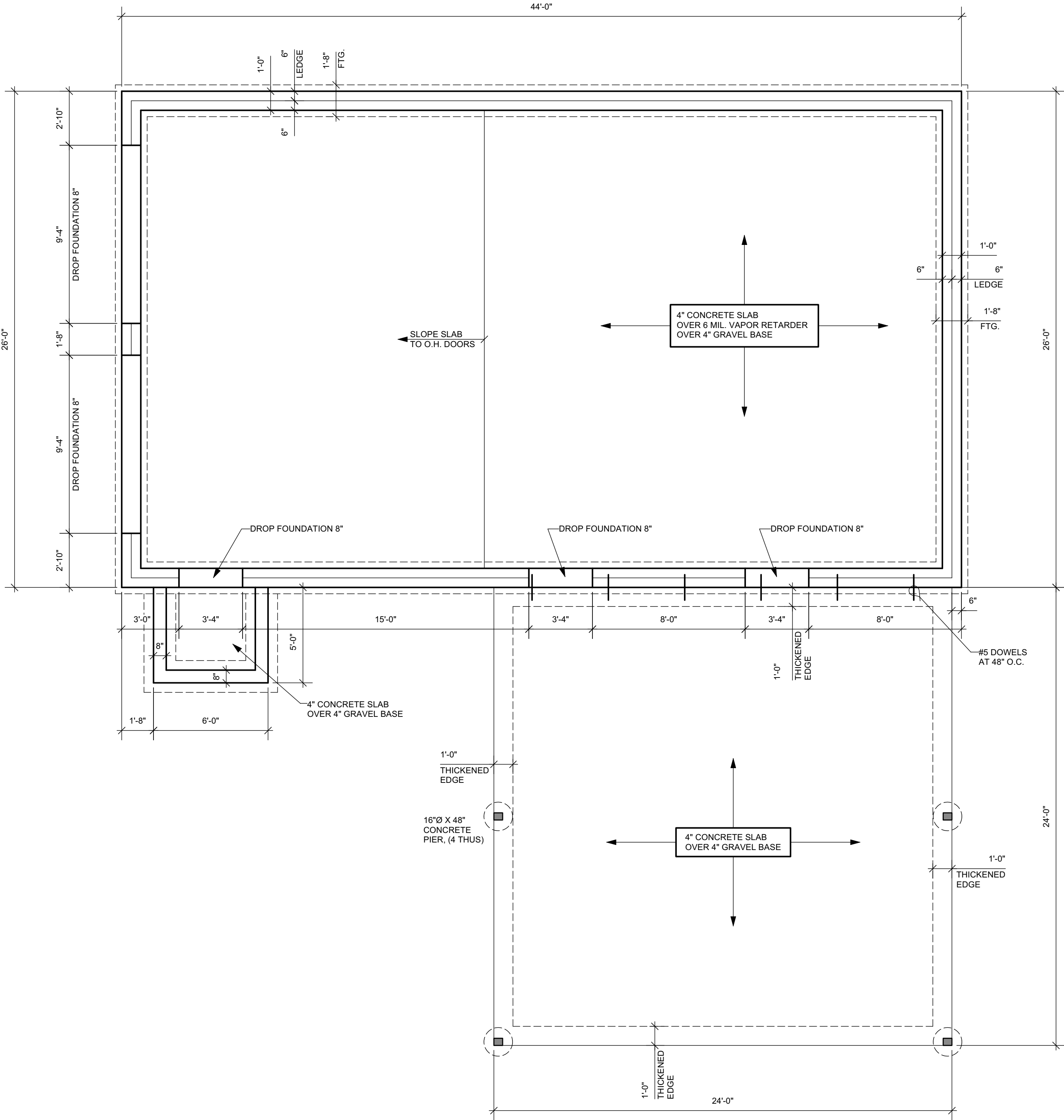
FORT ATKINSON, WI 53538

CSD PROJECT #: 2334

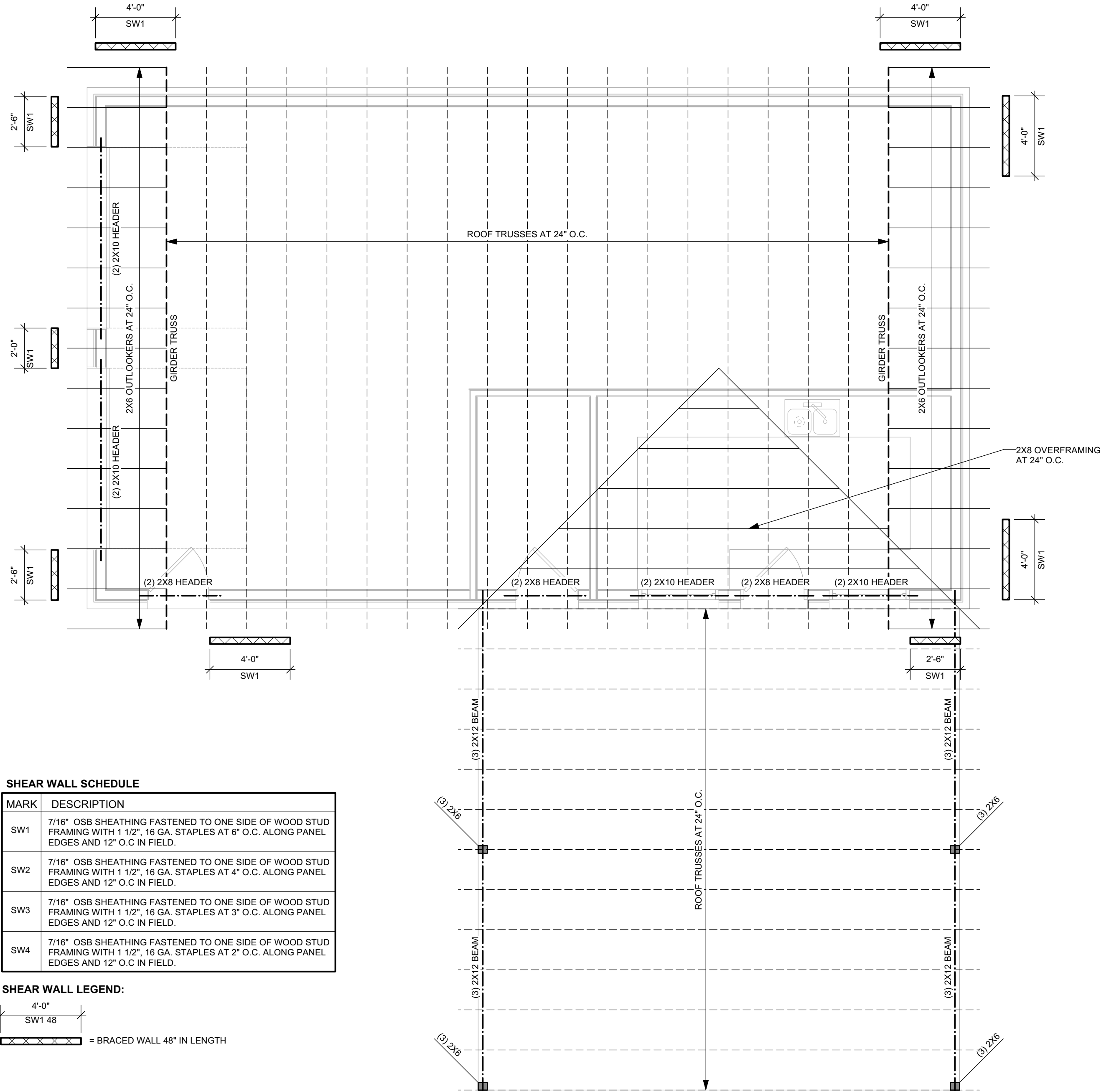
SCALE: AS NOTED
DATE: 2/21/2024
DRAWN BY: JM
CHECKED BY: CFN

FOUNDATION PLAN;
ROOF FRAMING PLAN

S1.1



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0" N →

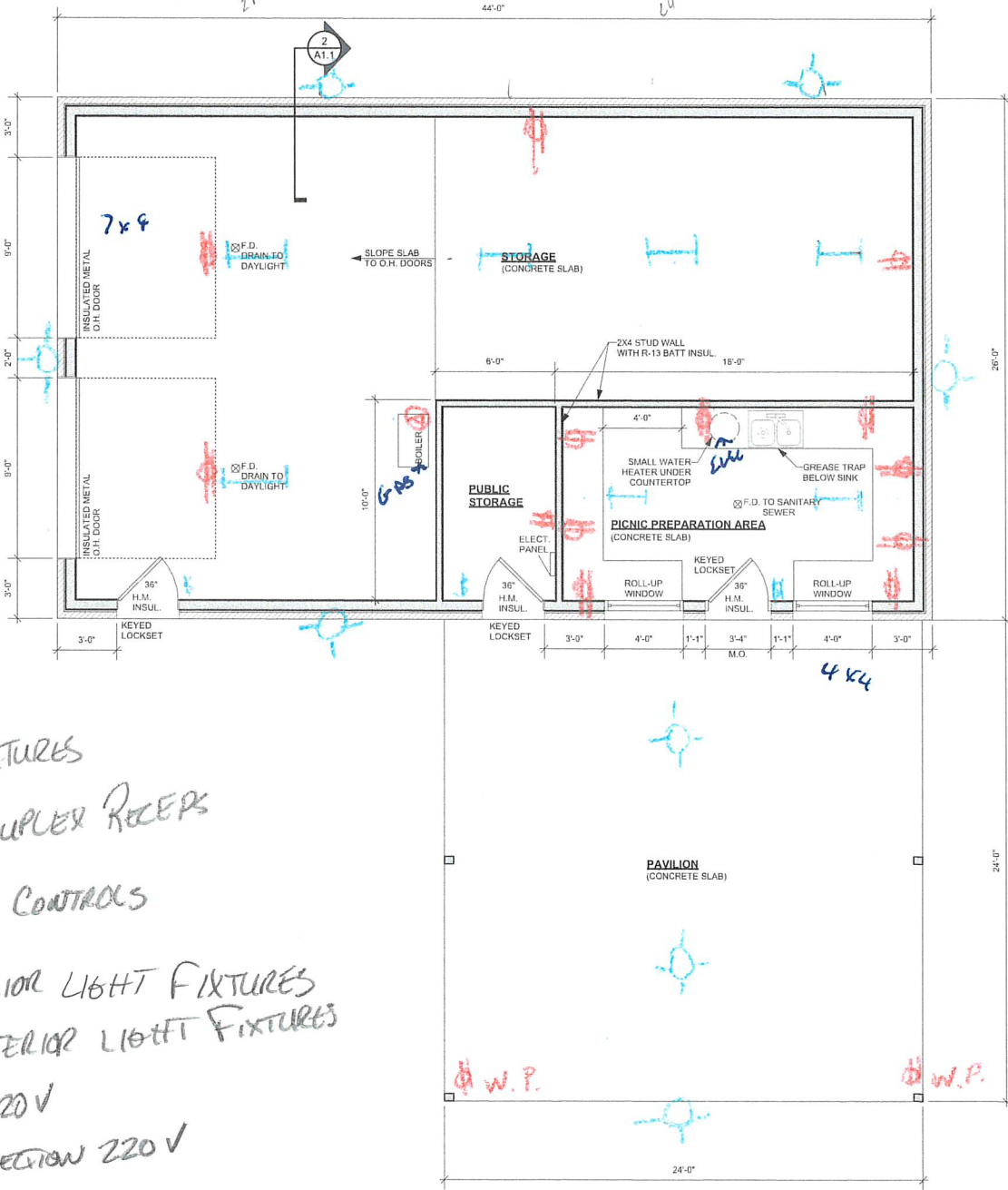


MARK	DESCRIPTION
SW1	7/16" OSB SHEATHING FASTENED TO ONE SIDE OF WOOD STUD FRAMING WITH 1 1/2", 16 GA. STAPLES AT 6" O.C. ALONG PANEL EDGES AND 12" O.C. IN FIELD.
SW2	7/16" OSB SHEATHING FASTENED TO ONE SIDE OF WOOD STUD FRAMING WITH 1 1/2", 16 GA. STAPLES AT 4" O.C. ALONG PANEL EDGES AND 12" O.C. IN FIELD.
SW3	7/16" OSB SHEATHING FASTENED TO ONE SIDE OF WOOD STUD FRAMING WITH 1 1/2", 16 GA. STAPLES AT 3" O.C. ALONG PANEL EDGES AND 12" O.C. IN FIELD.
SW4	7/16" OSB SHEATHING FASTENED TO ONE SIDE OF WOOD STUD FRAMING WITH 1 1/2", 16 GA. STAPLES AT 2" O.C. ALONG PANEL EDGES AND 12" O.C. IN FIELD.

SHEAR WALL LEGEND:
4'-0" SW1 48
= BRACED WALL 48" IN LENGTH

2 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0" N →

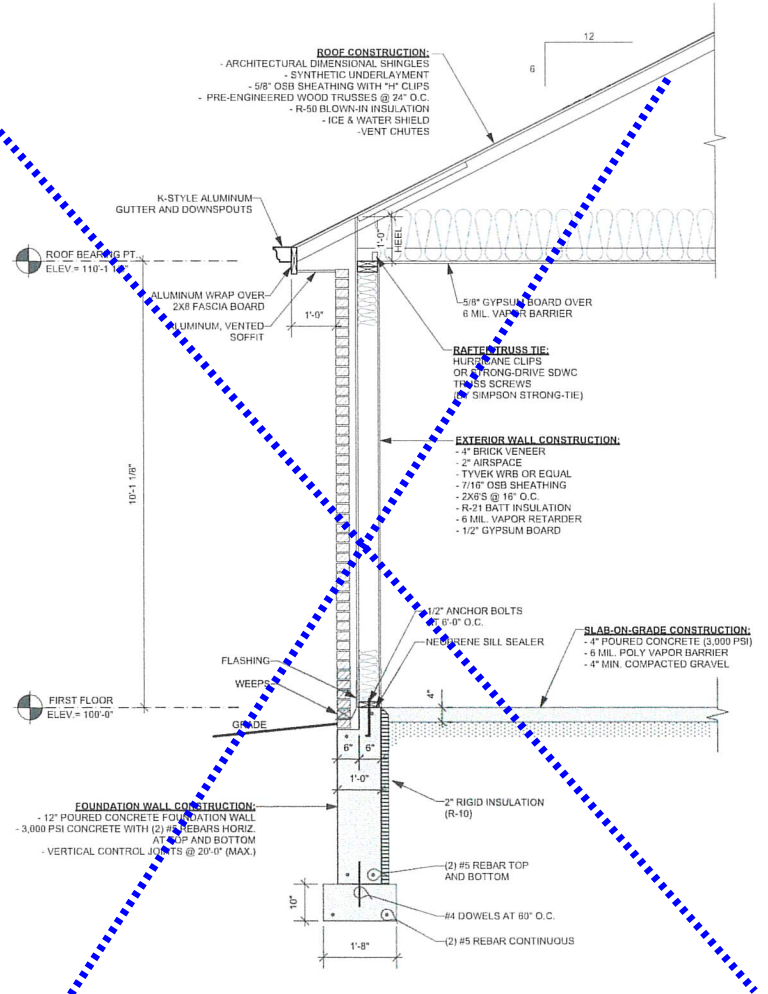
NOTE: Exterior fixtures to match downlights on existing warming house.



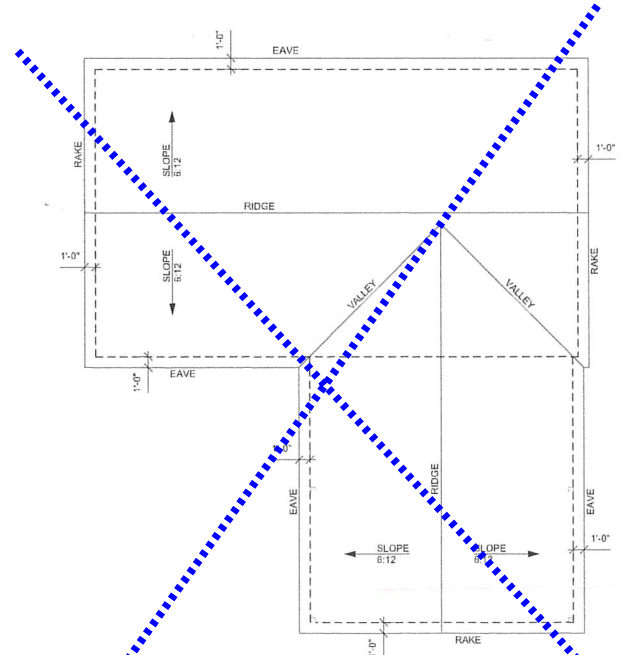
7 FLOOR PLAN
SCALE: 1/4" = 1'-0" N →

* NOTE: PROVIDE ARCHED BRICK LINTELS ABOVE EACH WINDOW AND DOOR OPENING

ELECTRICAL PLAN



2 WALL SECTION
SCALE: 1/2" = 1'-0"



3 ROOF PLAN
SCALE: 1/8" = 1'-0"

Cold Spring Design

22 South Main Street
Port Atkinson, WI 53538
(920)568-9530
(920)568-9531

ISSUE

DATE	DESCRIPTION
/-/----	

HAUMERSON'S POND PAVILION
EQUIPMENT BUILDING

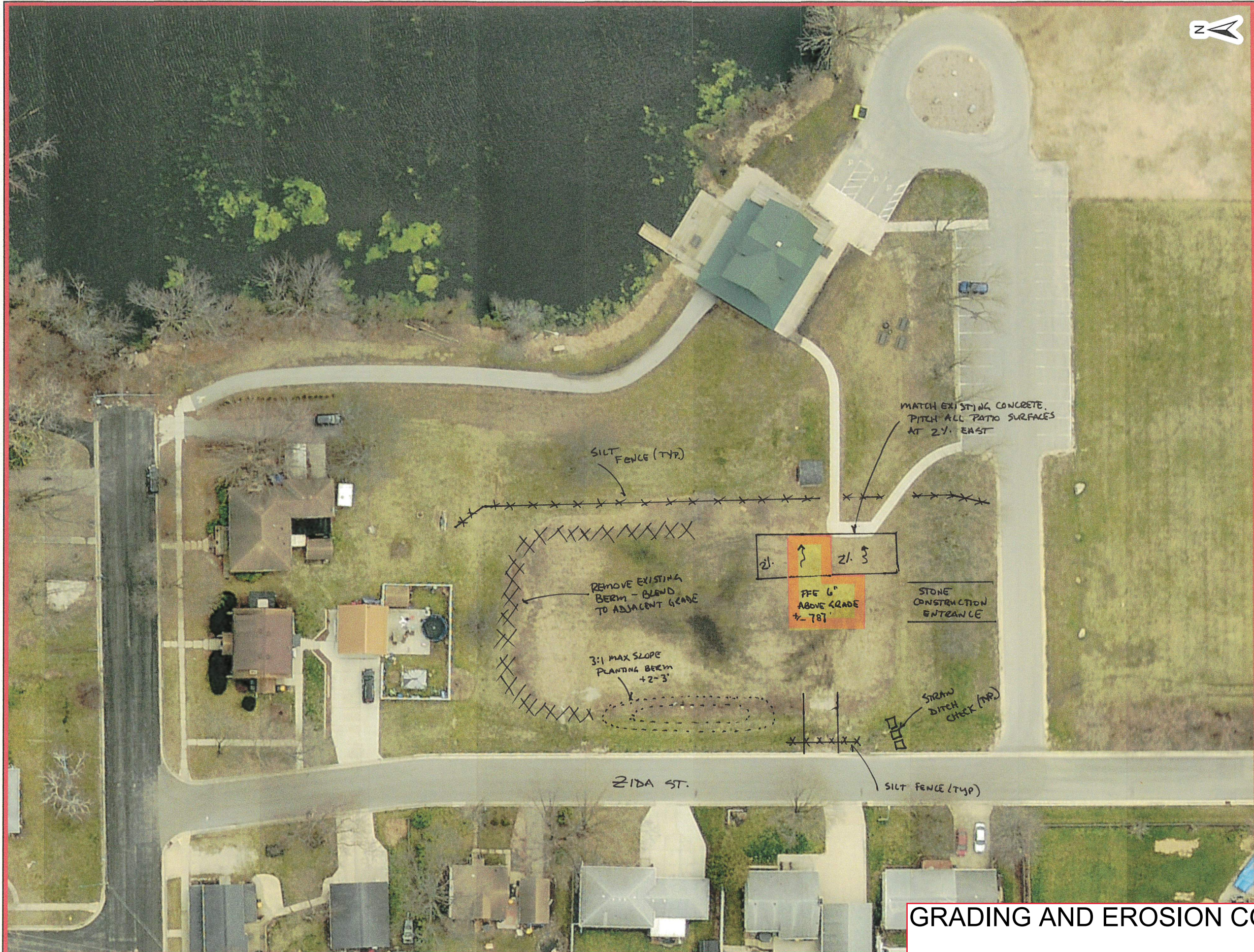
FORT ATKINSON, WI 53538

CSD PROJECT #: 2334

SCALE: AS NOTED
DATE: 4/3/2024
DRAWN BY: JM
CHECKED BY: CFN

FLOOR PLAN; WALL
SECTION; AND ROOF
PLAN

A1.1

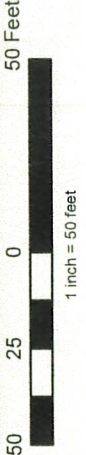


Printed on: May 9, 2024
Author: Public User

NOTES-

- LAND DRAINS WEST TO EAST TOWARD POND
- CONSTRUCTION TRAFFIC TO ENTER FROM PARK ACCESS DRIVE
- FINAL RESTORATION OF DISTURBED AREAS TO BE HYDROSEED TMLF MIX.

GRADING AND EROSION CONTROL PLAN



Printed on: May 9, 2024
Author: Public User

LANDSCAPE PLAN

LANDSCAPING

Type	Required	Proposed	Surplus	Status
Foundation	40	48	8	Met
Pave Area	50	20	0	Met with surplus
Lot	100	40	0	Met with surplus
Yard	20	33	13	Met
Buffer yard	209	594	385	Met
Total	389	735		



Jefferson County Geographic Information System

DISCLAIMER: This map is not a substitute for an actual field survey or onsite investigation. The accuracy of this map is limited to the quality of the records from which it was assembled. Other inherent inaccuracies occur during the compilation process. Jefferson County makes no warranty whatsoever concerning this information.

C-WM-A-WDG-S4L-5K (17W).ies

C-Lite

C-WM-A-WDG-S4L-5K-xx-xx-xxxx-xxx (17W) CONFIGURED

FROM C-WM-A-WDG-S4L-5K-xx-xx-xxxx-xxx (36W)

CONFIGURED FROM C-Lite LED Gooseneck without Shade,

Selectable Wattage (36W), 5000K

Single (Arm)



Luminaire Watts 17 W

Ballast/Driver Factor 1.00

Light Loss Factor 1.00

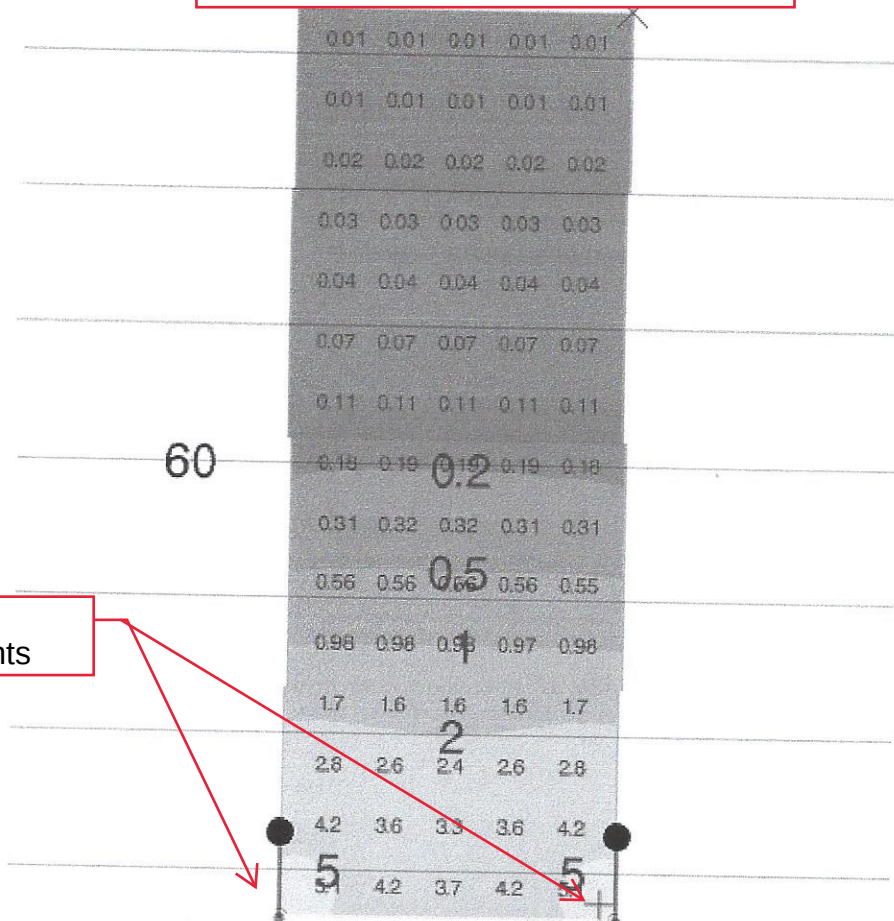
Total Proration Factor 1.00

Luminaire Lumens 2499 lms

22 ft

14 ft

ROW Line on Zida St



2 - Building Mounted Lights

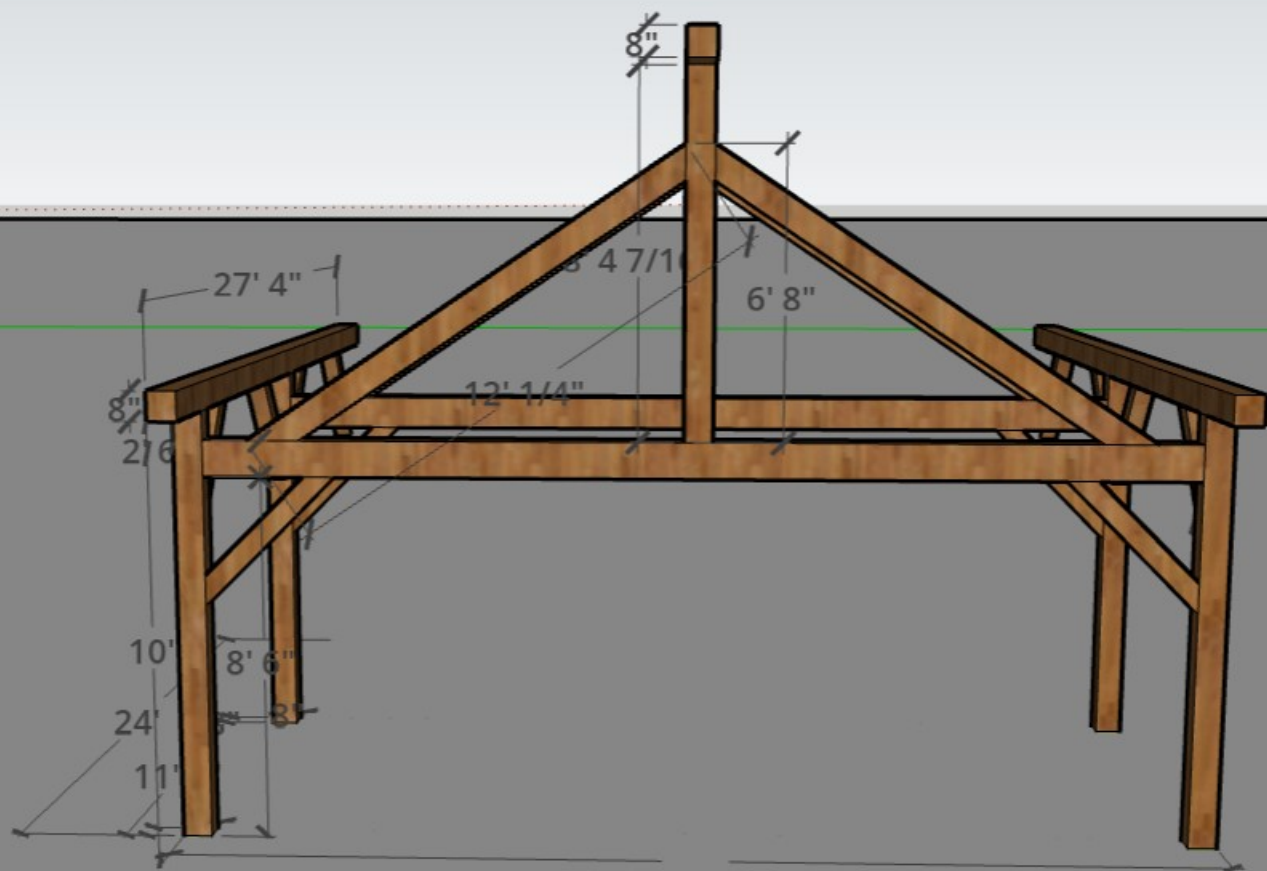
Zida St side of building

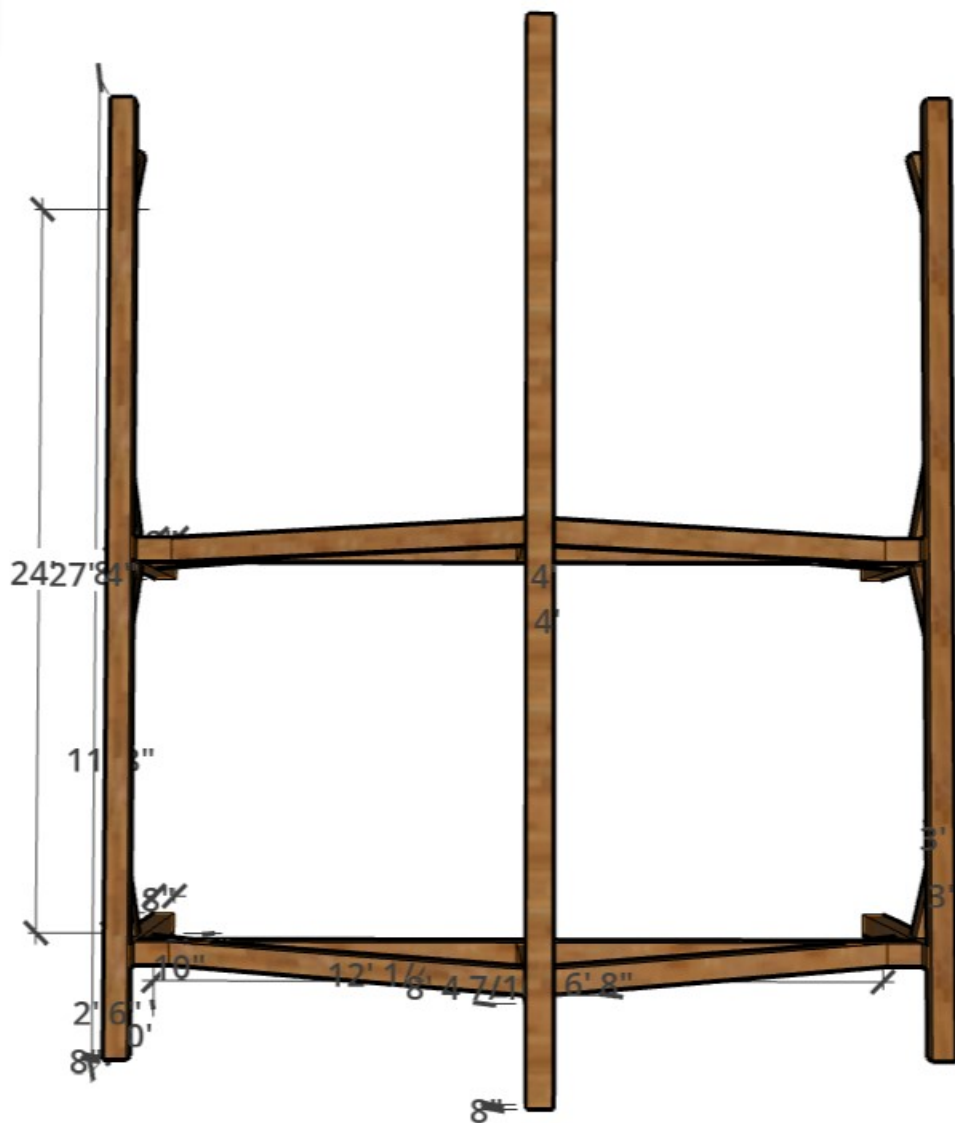
Min: 0.01 fc
Max/Avg: 5.2

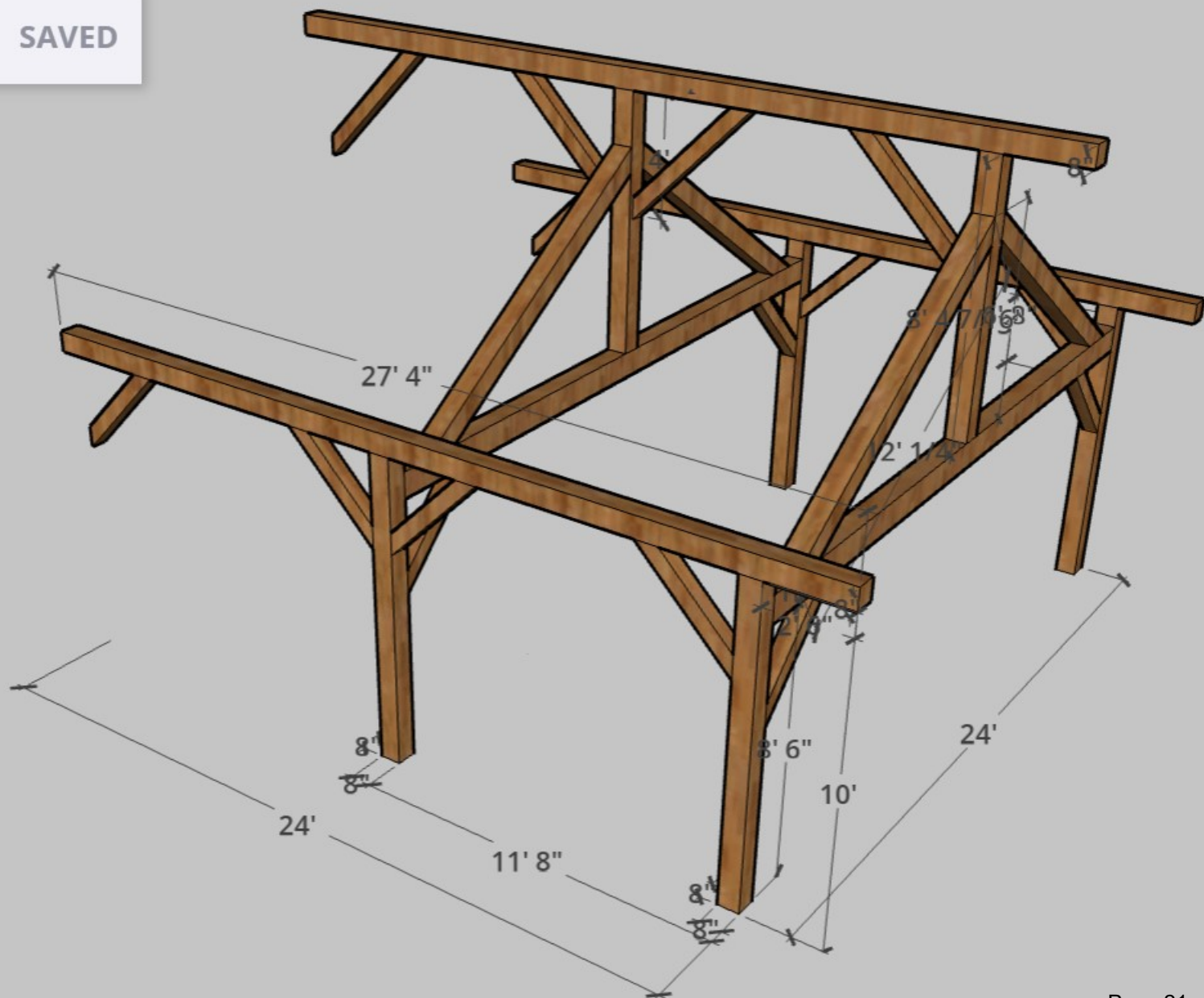
Avg: 1.0 fc
Avg/Min: 169

Max: 5.4 fc
Max/Min: 882











SPECIAL AREA DESIGN REVIEW REPORT TO THE PLAN COMMISSION

DATE: May 14, 2024
PROPERTY ADDRESS: 122 N Main St
PARCEL NUMBER: 226-0514-0322-015
OWNER: 14 Sherman LLC

FILE NUMBER: SADR-2024-02
EXISTING ZONING: DHMU
PROPOSED ZONING: No Change
EXISTING LAND USE: Vacant/Under
Construction
REQUESTED USES: Restaurant

BACKGROUND

122 N. Main is a building that has seen its commercial space sitting empty for a number of years. Before becoming vacant, the property was home to a restaurant for many years. McGee's Chicken is the tenant of the first floor commercial space and is currently renovating the restaurant. The proposed signage consists of a new internally lit sign featuring McGee's franchise font and design. The existing facade will be painted to compliment the building as well as the new sign. The proposed painting and the new sign have been approved by the Historic Preservation Committee.

REQUEST OVERVIEW

The City's Zoning Ordinance, which was adopted in 2020, created a Special Area Design Review process for parcels located in the City's Downtown Historic Mixed Use (DHMU) zoning district. The Special Area Design Review – Design Alteration Review is designed to forward both aesthetic and economic objectives of the City by controlling the site design and exterior appearance of development within the district in a manner which is consistent with sound land use, urban design, and economic revitalization principles.

There are three categories of Special Area Design Reviews: Renovation Review, Design Alteration Review, and Project Review:

A. Renovation Review applications involve only a renovation of the exterior appearance of a property, such as repainting, re-roofing, residing, or replacing with identical colors, finishes, and materials. Staff shall review, and the Plan Commission shall review and approve or deny these applications.

B. Design Alteration Review applications involve a change only in the exterior appearance of a nonresidential or multifamily property, such as painting, roofing, siding, architectural component substitution, fencing, paving, or signage. Staff shall review, and the Plan Commission shall review and approve or deny these applications.

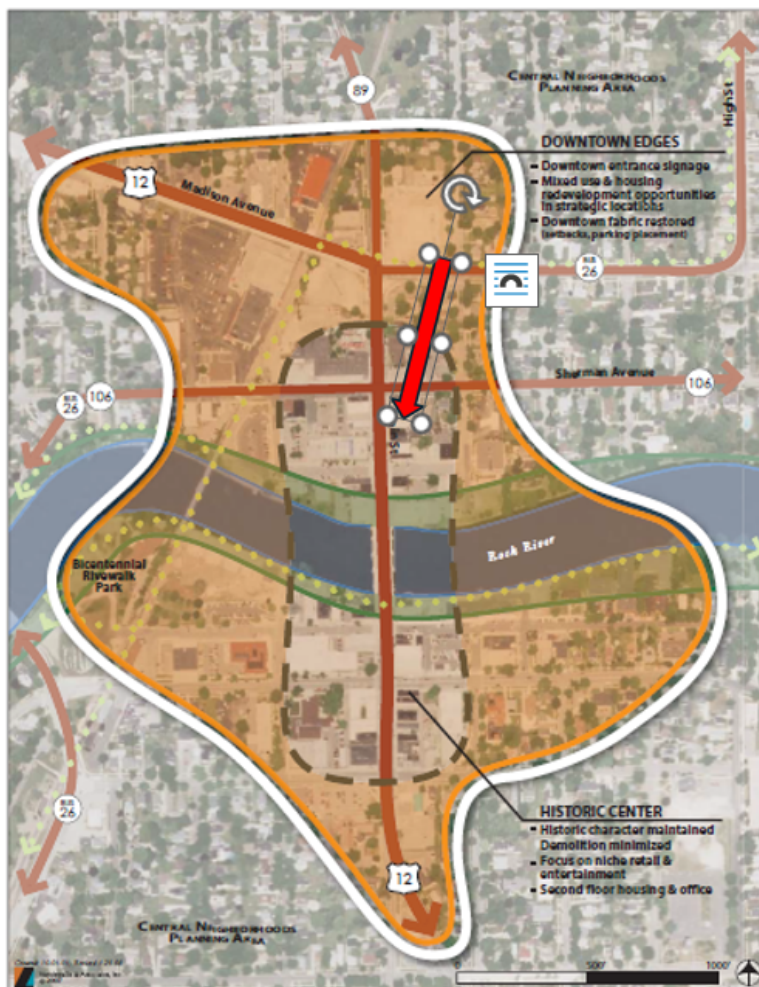
C. Project Review applications involve modification to the physical configuration of a property, such as the erection of a new building, the demolition of an existing building, or the addition or removal of bulk to an existing building. Staff shall review, and the Plan Commission shall review through the Conditional Use Permit process and make a final determination.

McGee's Chicken is proposing a new internally lit sign located on the West facade facing Main St. The proposed sign consists of an existing painted structure that will be repainted to match and a new internally lit rectangular aluminum sign to be placed on the painted structure. The requested sign above the main entrance would be a total of 18 SF.

HISTORIC DOWNTOWN PLANNING AREA

FIGURE: 2.17

CITY OF FORT ATKINSON
FUTURES OPEN HOUSE



No public notice is required for a Wall Sign Review

DISCUSSION

The Sign Code requirements for Wall Signs are documented below.

1 sign per exterior wall, plus 1 per customer entry
Maximum size = Each business is allowed a minimum of 40 sq ft of wall sign.
Shall not extent over any roof or parapet

Shall be made of durable, all-weather materials
Shall be ambient, backlit, or gooseneck lighting
Shall be a minimum of 8 ft above the sidewalk

Shall project a maximum of 12 in. from the front façade face of the building

Sign must be designed of materials harmonious with the building and site

Met: 1 sign per wall, plus 1 per customer entry,
Met: Western Facade: Wall signs proposed = 18 SF

Met: Located on the façade, no roof or parapet overhang

Met: Painted Aluminum

Met: Internally lit

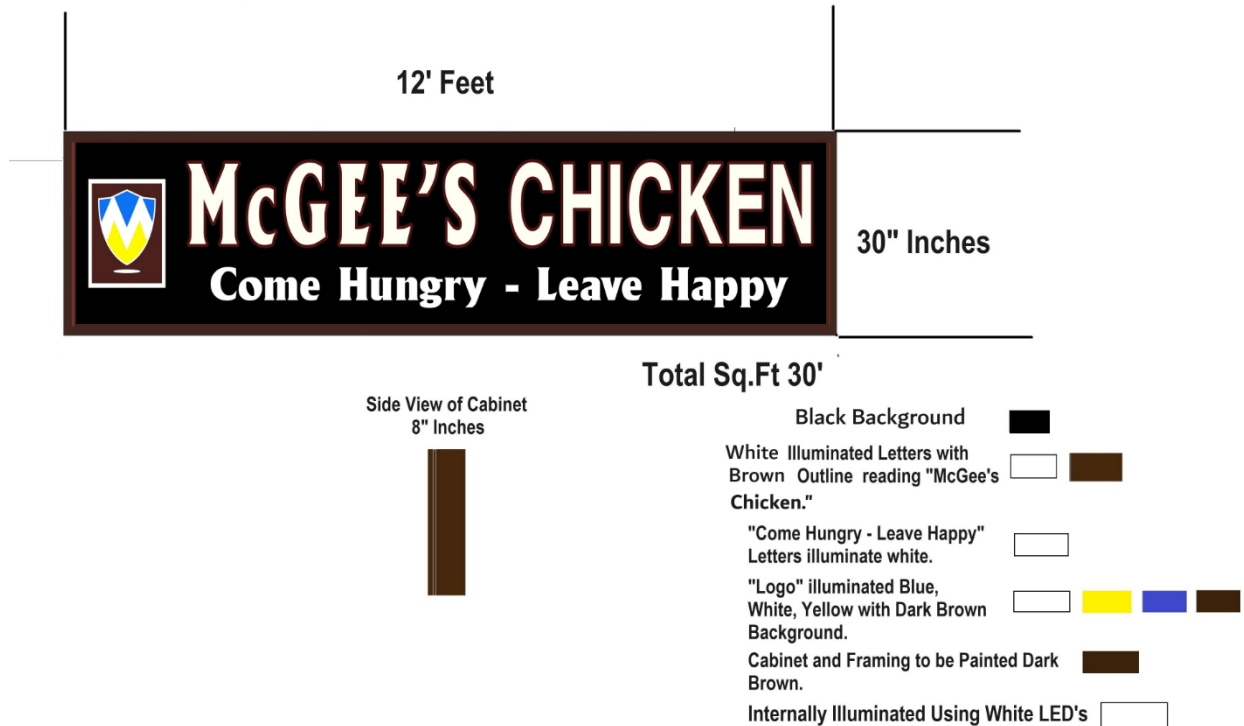
Met: The signage on the Main St. facade is located above the doors and windows.

Met: Proposed 8 in.

Met: Sign is to be constructed and painted to match the existing facade

AH Signs (608) 836-3309

120 N. Main Street / LED Wall Sign For McGee's Chicken



The proposed wall sign meets the requirements of the City's ordinances. The City's Management Team has reviewed the application and all comments have been included within this document. There is an existing protruding sign that has been unused for several years. The sign has not been maintained and is no longer permitted. Section 15.09.37(1)a. States "at 60 days of vacancy, nonconforming signs shall lose their legal nonconforming status"

RECOMMENDATION

Staff recommends that the Plan Commission approve the requested sign as proposed contingent on the removal of the unused non-conforming protruding sign currently on the building.

ATTACHMENTS

1. Mcgee's Chicken Wall Sign (144W x 30H) Dark Brown 5.3.24
2. 120 SADR Application 2024



McGEE'S CHICKEN

Come Hungry - Leave Happy

City of Fort Atkinson Procedural Checklist for Special Area Design Review Requirements per Section 15.07.50 and 15.10.43

This form is designed to be used by the Applicant as a guide to submitting a complete application for a Special Area in the Downtown Historic Mixed Use Zoning District project review and by the City to process the application.

Name, company, and client (if applicable): McGees Chicken

Phone number: (608) 698-1939 Email: McgeesChicken@gmail.com

Property location for review: 122 Main St Fort Atkinson, WI 53538

I Applicability

Actions in the Downtown Historic Mixed-use Zoning District (DHMU) which involve:

- **Renovation Review**
Renovation of the exterior appearance of the property (such as repainting, re-roofing, residing or replacing with identical colors, finishes, and materials)
- **Design Alteration Review**
Design alterations of the exterior appearance of the structure (such as painting, roofing, siding, architectural component substitution, fencing, paving, or signage),
- **Project Review**
Modification to the physical configuration of a property (such as the erection of a new building, the demolition of an existing building, or the addition or removal of bulk to an existing building)

Procedure	Type of Proposal		
	Renovation ¹	Design ²	Project ³
1. Consultation with Zoning Administrator, City Manager, and City Engineer to confirm type of proposal	Yes	Yes	Yes
2. Submit Proposed and Existing Building Elevations	Yes	Yes	Yes
3. Submit Site Plan Application	No	No	Yes
4. Submit Conditional Use Permit Application	No	No	Yes
5. Review by Zoning Administrator and City Staff	Yes	Yes	Yes
6. Review and action by Plan Commission	Yes	Yes	Yes

KEY: **Yes** = Step is required. **No** = Step is not required.

¹Only a replacement to or maintenance of the exterior of a property.

²Only a change in the appearance of a property.

³Modification to the physical configuration of a property, i.e. new building, addition, or demolition

II Application Packet Requirements

The Applicant shall submit ☐ electronic or ☒ paper copies of the application.

- 1) All applications shall be accompanied by all of the following, unless specifically waived in writing by the Zoning Administrator:
 - ☐ A clear depiction of the existing appearance of the property. Clear color photographs are recommended for this purpose. Scaled and dimensioned drawings of existing components such as windows, doors, railings, fencing or other site components, and/or detailed building elevations which are proposed for alteration or replacement may be required by the City.
 - ☐ A clear depiction of the proposed appearance of the property. Paint charts, promotional brochures, and/or clear color photographs of replacement architectural components are recommended for this purpose. Scaled and dimensioned drawings of proposed components such as windows, doors, railings, fencing or other site components, and/or detailed building elevations which are proposed for alteration or replacement may be required by the City.
 - ☐ A written description of the proposed modification, including a complete listing of proposed components, materials, and colors.
 - ☐ Written justification for the proposed alteration consisting of the reasons why the applicant believes the request is in harmony with the building design standards of the Downtown Historic Mixed-Use Zoning District (Section 15.07.50), as applicable.

ONLY Project Review

- 2) All Project Review applications shall be accompanied by the items listed in 1) above, in addition to the application requirements for conditional use permits (15.10.32), unless specifically waived in writing by the Zoning Administrator.
- 3) For all projects involving a new building, or an addition exceeding 100 square feet of gross floor area that reduces or extends a building's footprint or height, a detailed, scaled site plan which provides the following information:
 - ☐ A title block indicating name and address of the current property owner, developer and project consultants.
 - ☐ The date of the original plan and the latest date of revision to the plan.
 - ☐ A north arrow and a graphic scale.
 - ☐ All property lines and existing and proposed right-of-way lines with dimensions clearly labeled.
 - ☐ All existing and proposed easement lines and dimensions with a key provided and explained as to ownership and purpose.
 - ☐ All existing and proposed buildings, structures, and paved areas, including walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls.
 - ☐ All required building setback lines.
 - ☐ The location, type and size of all signage on the site.
 - ☐ The location, type and orientation of all exterior lighting on the subject property.
 - ☐ The location of all access points, parking and loading areas on the subject property, including a summary of the number of parking stalls and labels indicating the dimension of such areas.
 - ☐ The location of all outdoor storage areas.
 - ☐ The location and type of any green space areas.
 - ☐ The location of existing and proposed drainage facilities.
 - ☐ In the legend, the following data for the subject property: lot area, floor area, impervious surface area, impervious surface ratio, and building height.

- ❑ A detailed landscaping plan depicting the location, type, and size at time of planting and maturity of all landscaping features as required in Article VIII.

III Review Process

Renovation Review proposals are subject to the following procedures:

- The Zoning Administrator shall determine whether the Renovation Review application is complete and fulfills the requirements of this Chapter. If the application is determined to be incomplete, the Zoning Administrator, shall notify the applicant.
- The Zoning Administrator shall coordinate review with the City's Departments.
- The Plan Commission shall review and approve or deny the application.

Design Alteration Review proposals are subject to the following procedures:

- The Zoning Administrator shall determine whether the Design Alteration Review application is complete and fulfills the requirements of this Chapter. If the application is determined to be incomplete, the Zoning Administrator, shall notify the applicant.
- The Zoning Administrator shall coordinate review with the City's Departments.
- The Plan Commission shall review and approve or deny the application.

Project Review proposals shall follow procedures for conditional use permits; refer to Section 15.10.32.

- The Zoning Administrator shall determine whether the Renovation Review application is complete and fulfills the requirements of this Chapter. If the application is determined to be incomplete, the Zoning Administrator, shall notify the applicant.
- The Zoning Administrator shall coordinate review with the City's Departments.
- The Plan Commission shall review and approve or deny the application.

The Zoning Administrator, City Engineer, and Department Heads shall review the complete application and evaluate whether the project:

1. Is in harmony with the recommendations of the Comprehensive Plan.
2. Would result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare.
3. Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
4. The project is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
5. The potential public benefits outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.

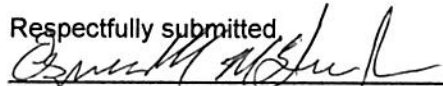
IV Process Checklist

- | | |
|--|-------------|
| ☐ Staff-Applicant meeting (if applicable) | Date: _____ |
| ☐ Application fee of \$ _____ received by City Treasurer | Date: _____ |
| ☐ Reimbursement of professional consultant costs agreement executed. | Date: _____ |
| ☐ Receipt of complete application packet by Zoning Administrator | Date: _____ |
| ☐ City Staff input | Date: _____ |
| ☐ Class 2 legal notice sent to official newspaper by City Clerk (if applicable) | Date: _____ |
| ☐ Class 2 legal notice published on _____ (if applicable) | Date: _____ |
| ☐ Notification of neighboring property owners within 100 feet of the petition (if applicable) | Date: _____ |
| ☐ Notification of clerks of municipalities within 1,000 feet of the petition (if applicable) | Date: _____ |
| ☐ Notification of airports within 1 mile of the petition (if applicable) | Date: _____ |
| ☐ Plan Commission Public Hearing, review and recommendation | Date: _____ |
| ☐ City Council review and action (if applicable) | Date: _____ |

2024 Fees: Renovation Review-\$25 per request
Design Alteration Review-\$50 per request
Project Review- \$200 per request

Dated this 14 day of Feb, 20 24

Respectfully submitted,


(Signature of Applicant)