



City of Fort Atkinson
City Manager's Office
101 N. Main Street
Fort Atkinson, WI 53538

**PLAN COMMISSION MEETING
IN PERSON AND VIA ZOOM
TUESDAY, NOVEMBER 4, 2025 – 6:30 PM
CITY HALL – SECOND FLOOR**

<https://us02web.zoom.us/j/82214860406?pwd=TEVyUVdQM05VNFVzb0E2TUNTU0VnZlZz09>

Meeting ID: 822 1486 0406

Passcode: 53538

Dial by Location

+1 312 626 6799

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AGENDA

- 1. Call meeting to order**
- 2. Roll call**
- 3. New Business**
 - a. Review and possible action relating to the **minutes of the October 28, 2025, Plan Commission meeting** (Ebbert, Clerk/Treasurer/Finance Director)
 - b. Review and possible action on a **Site Plan Review** for an addition at OSI located at 1200 Industrial Dr. (SPR-2025-29) (Draeger, Director of Neighborhood and Building Services)
 - c. Update on previously approved projects (Houseman)
- 4. Adjournment**

Date Posted: October 29, 2025

CC: Plan Commission, City Council; City Staff; City Attorney; News Media; Fort Atkinson School District; Fort Atkinson Chamber of Commerce

Notice is hereby given that a majority of the Fort Atkinson City Council may be present at this meeting at the location and time indicated above to gather information about any subject

matters on this agenda over which they have decision-making responsibility. This may constitute a meeting of the City Council pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis.2d. 553, 494 N.W.2d 408 (1993), and must be noticed as such although the City Council will not take any formal action at this meeting.

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**PLAN COMMISSION MEETING
IN PERSON AND VIA ZOOM
TUESDAY, OCTOBER 28, 2025 – 4:00 PM
CITY HALL – SECOND FLOOR**

MINUTES

1. Call meeting to order

Chairperson Manager Houseman called the meeting to order at 4:00 pm.

2. Roll call

Present: Chairperson Manager Houseman, Director of Public Works Navin, Council Representative Schultz, Commissioners Ciccarelli and Shull Also present: Director of Neighborhood Services Draeger, City Attorney Westrick and Clerk/Treasurer/Finance Director Ebbert. Commissioner Kessenich arrived at 4:01 pm.

3. New Business

*a. Review and possible action relating to the **minutes of the October 14, 2025, Plan Commission meeting** (Ebbert, Clerk/Treasurer/Finance Director)*

Schultz moved, seconded by Ciccarelli to approve the minutes of the October 14, 2025 Plan Commission meeting. Motion carried. Shull abstained.

*b. Review and possible action relating to a Site Plan Review for signage at **Rockwell Elementary School** located at 821 Monroe St. (SPR-2025-28) (Draeger, Director of Neighborhood and Building Services)*

Director Draeger reviewed the proposed sign that is intended to improve visibility at the intersection of West Cramer and Monroe Street. While the existing sign is appropriately placed in front of the main entrance, it is not easily seen by vehicles traveling along West Cramer Street. The existing sign will remain in its current location, and the new sign will be added to supplement the site's overall signage. The proposed signage complies with all applicable City ordinances. The City's Management Team has reviewed the application, and comments have been incorporated into this document. The Commission agreed the uniform signs amongst the schools are a great improvement.

Schultz moved, seconded by Shull to approve the Site Plan Review for signage at Rockwell Elementary School located at 821 Monroe Street as proposed. Motion carried.

*c. Review and possible recommendation to the City Council relating to an **Extraterritorial Certified Survey Map** for the property located at N3093 County Rd. K (CSM-2025-12) (Draeger, Director of Neighborhood and Building Services)*

Director Draeger presented the Certified Survey Map to combine two parcels into a single lot. The parcels include a 1.06-acre R-2 zoned property and a 0.54-acre A-1 Agricultural Exclusive parcel. Once combined, the new 1.6-acre lot would be zoned R-2. This allows for the construction of a large accessory structure under a conditional use permit that has already been approved by Jefferson County and the Town of Jefferson. The CSM meets most of the City's Land Division and Development Ordinance requirements. The only exception is the requirement to dedicate the right-of-way for County Road K. City staff reached out to Jefferson County to confirm, and the county indicated that no dedication is required as part of their approval.

Schultz moved, seconded by Ciccarelli to recommend the City Council waive the requirement for the road dedication and approve the Certified Survey Map for property located at N3093 County Road K as submitted. Motion carried.

d. Update on previously approved projects (Houseman)

Houseman provided updates to the Commission. No action was taken.

4. Adjournment

Schultz moved, seconded by Ciccarelli to adjourn. Meeting adjourned at 4:13 pm.

Respectfully submitted,

Michelle Ebbert

City Clerk/Treasurer/Finance Director



City of Fort Atkinson
City Manager's Office
101 N. Main Street
Fort Atkinson, WI 53538

SITE PLAN REVIEW REPORT TO THE PLAN COMMISSION

DATE: November 4, 2025

PROPERTY ADDRESS: 1200 Industrial Dr.

PARCEL NUMBER: 226-0514-0923-000

OWNER: OSI Industries, LLC

APPLICANT: OSI Industries, LLC

FILE NUMBER: SPR-2025-29

EXISTING ZONING: HI, Heavy Industrial

PROPOSED ZONING: HI, Heavy Industrial

EXISTING LAND USE: Heavy Industrial

REQUESTED USES: No change

BACKGROUND

Section 15.10.42 of the City of Fort Atkinson Zoning Ordinance outlines the requirements for the Site Plan application. This requires review of the proposed development's building configuration, site layout and access, parking, exterior building design, landscaping, grading and erosion, stormwater, exterior lighting, signage, and operational plan.

REQUEST OVERVIEW



OSI Industries owns several properties and structures located on the southwest side of Fort Atkinson. The subject property is 11.7-acres in size and includes one of their main operation facilities. The proposed project includes a small addition onto the southwest side of the existing structure. It is being requested to provide a new trash screening room to support on-site operations of the main plant.

The proposed disturbance area is approximately 4,800 sf and includes a 1,368 sf building addition and concrete pad west of the addition. No other changes are proposed to the site.

Within the Zoning Ordinance, only new additions, improvements, and development are subject

to the requirements of the ordinance. This memo reviews only those proposed new features within the far southwestern portion of the site.

The buildings and site layout are required to meet the minimum dimensional standards of the zoning district. The proposed building addition meets these requirements, as shown below.

Requirement	Size	Proposed Development
Minimum Side Setback	50 feet	210 feet
Maximum Principal Building Height	65 feet	17 feet
Minimum Pavement Setback (lot line to pavement, excludes driveway entrances)	Side/Rear: 5 feet ROW: 10 feet	Side: 190 feet Rear/ROW: N/A
Maximum Impervious Surface Ratio	80%	80%*
Maximum Building Coverage	70%	45%

**No new impervious surface is being added to the site as the project area is already considered to be impervious.

No land use change is proposed on the property and the existing land uses are permitted by right in the Heavy Industrial Zoning District (HI). Land use requirements indicate that there shall be a 1.0 bufferyard along all borders of the property abutting non-HI zoned properties, a minimum of 100 feet of separation between outdoor storage areas and residential properties, no storage areas shall inhibit traffic circulation or parking areas, and minimum parking requirements shall be met. The nature of the proposed changes to the site are not applicable to any of these requirements.

The proposed building expansion does not include any new parking spaces and does not require any new parking spaces because the minimum parking standards are one space per employee on the largest shift. No new employees are associated with the project. It should be noted that it has been observed that both employee vehicles and semi-trailers are routinely parked on unpaved, grassed areas, which is prohibited by City ordinances. City zoning standards require that all off-street parking, loading, and traffic circulation areas be paved with a hard, all-weather surface (Section 15.06.06(19)). Parking on grass violates this standard. In 2023, OSI submitted a Site Plan for Plan Commission review and received approval for a new parking area that would address some of these issues; however, the approved parking lot has not been installed.

The proposed project has submitted all required elements of the Site Plan review that are included within the attachment. Below is a review of the various other zoning standards that are required with the proposed development:

Access and Visibility Standards (Section 15.06.03, 15.06.04, and 15.06.05)

- No change proposed. No requirements are applicable to this project.

Parking and Loading Standards (Section 15.06.06 and 15.06.07)

- No change proposed. No requirements are applicable to this project.
 1. There is approximately 40' between the proposed building addition and existing edge of the gravel driveway. This provides adequate space to move vehicles around the building addition within the existing, internal gravel driveway.
 2. There is approximately 70' between the front of the proposed building addition and the existing edge of the gravel driveway. This provides adequate space to conduct loading/unloading within the existing, internal gravel driveway.

Exterior Lighting Standards (Section 15.06.20)

- No change proposed. No requirements are applicable to this project.

Outdoor Storage and Screening Standards (Section 15.06.21)

- No change proposed. No requirements are applicable to this project.

Fencing Standards (Section 15.06.40)

- No change proposed. No requirements are applicable to this project.

Landscaping Standards (Section 15.08.30)

Point values are provided for each type of plant and the amount required in each portion of the site is listed within the Zoning Ordinance. This provides the developer with options in customizing the planting selection and location to best fit the project and site.

- 0 landscaping points are required for the street frontage = Not applicable
- 0 landscaping points are required for the paved surface areas = Not applicable
- 23 landscaping points are required for the building foundation = **Not Met (none provided)**
- 14 landscaping points are required for the yards = **Not Met (none provided)**

The proposed building addition is relatively hidden from view and does not provide the ability

to locate building foundation landscaping points surrounding the structure because of the design and existing surrounding impervious surfaces. An alternative location on the site could be utilized to satisfy the landscaping requirements and the total point value required (37 points) could be met through the addition of one canopy tree on the site. The Plan Commission can determine if the point values required could be met in an alternative location of the site.

Exterior Building Design Standards (Section 15.07.40)

Per Section 15.07.01(2)(b), additions shall match or be substantially similar to the design and materials of the existing building = met (metal wall paneling)

Post Construction Storm Water Management (Ordinance 18-190)

The proposed project does not create additional impervious surfaces and does not require additional storm water management. It should be noted it has been observed that there are erosion control concerns with the ditches, culverts, and aprons on the site, resulting from stormwater runoff and current maintenance practices. The use of grass and weed control chemicals in the ditches has contributed to erosion and requires repairs to the ditches and aprons.

PUBLIC NOTICE:

No public notice is required for Site Plan review and action.

COMPREHENSIVE LAND USE PLAN (2019):

The subject parcel lies within the Janesville Avenue Business District Planning Area (see Attachments) and is identified as Employment within the Plan. The opportunities indicated on the Plan include industrial and employment opportunities, development design standards, and landscaping enhancements.

JANESVILLE AVE BUSINESS DISTRICT PLANNING AREA

FIGURE: 2.18
CITY OF FORT ATKINSON
FUTURES OPEN HOUSE



The subject property is also shown as General Business on the Future Land Use Map. This designation includes indoor manufacturing, warehousing and distribution, and office uses. The proposed addition to the existing building is not planned to change the land use on the property. Staff believes the proposal is in concert with the Comprehensive Plan.

DISCUSSION

OSI is a long-standing business in the community, and this very small-scale expansion would allow them to utilize more of the existing lot and accommodate the space to handle trash screening that's part of their larger on-site operations.

Overall, the proposed project is largely screened from view, is consistent with the design of the existing structure, and is located within an area already classified as impervious surface. However, concerns remain regarding adequate space for loading, unloading, and maneuvering around the addition if semi-trailers continue to park on the grassy areas surrounding the site. The City Engineer also noted an existing stormwater manhole that is currently below grade, which could become inaccessible if the surrounding grade is altered. While the proposed addition and site modifications generally comply with the City's Zoning Ordinance, other issues remain that should be addressed by the property owner.

The City's Management Team has reviewed the application and all comments have been included within this document.

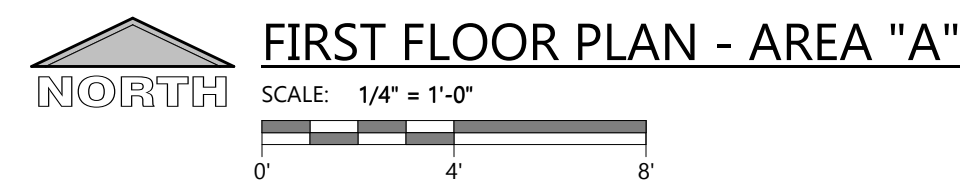
RECOMMENDATION

City staff recommends approval of the Site Plan, subject to the following conditions:

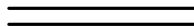
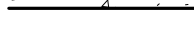
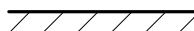
- Provide required Landscaping points in an alternate location in the Front or Street Yard.
- Parking areas to be paved in an approved method or cease to be used for the parking of vehicles or semi-trailers.
- Raise the existing Stormwater manhole to the new grade.
- Restore existing ditches and aprons damaged by stormwater leaving the site.
- Any other comments by the Plan Commission.

ATTACHMENTS

1. FIRST FLOOR PLAN
2. EXTERIOR ELEVATIONS
3. OVERALL SITE PLAN
4. Sealed Civil Plans
5. Project Narrative
6. Janesville Ave Business District Planning Area
7. Future Land Use Map 1
8. Parking on Non-paved surface



SYMBOLS LEGEND

	INTERIOR WALL TYPE • SEE A4 SHEETS FOR WALL TYPES
	IMP WALL TYPE • SEE A4 SHEETS FOR WALL TYPES
	SEE SHEET AX-X FOR CURB DETAILS
	EXIT SIGNAGE
	FIRE EXTINGUISHER • SEE THIS SHEET
	GUARD POST/GOAL POST DESIGNATION • SEE SHEET A6.G FOR DETAILS
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	STUD WALL
	CONCRETE WALL
	MASONRY VENEER
	C.M.U. WALL
SEE PLAN FOR WALL WIDTHS	
	EXISTING DOOR TO REMAIN
	NEW DOOR

PATCH WALLS AT REMOVAL AND CONNECTION POINTS TO MATCH ADJACENT FINISHES.

PATCH WALLS AND FLOOR TO MATCH EXISTING MATERIALS AND FINISHES. REMOVE REMAINDER OF EXISTING CONSTRUCTION OR FINISH LAYERS.

DAMAGED/UNDERSHIPPED SURFACES.

DO NOT PATCH OR REPAIR EXISTING PATCHING AREAS SHOWN. INFILL ALL WALL OPENINGS TO MATCH EXISTING WALL CONSTRUCTION. PATCH TO MATCH ADJACENT MATERIALS AND FINISHES AND FINISH WHERE PIPES, CONDUITS, DUCTWORK, OR OTHER PENETRATIONS ARE REMOVED.

PATCH WALLS TO MATCH EXISTING MATERIALS AND FINISH WHERE NEW ELECTRICAL BOXES AND CONDUITS ARE REMOVED FROM EXISTING WALLS. SEE ELECTRICAL PLANS FOR LOCATIONS.

PATCH WALLS TO MATCH EXISTING MATERIALS AND FINISH WHERE BLOCKING OR BACKING IS INSTALLED IN EXISTING WALLS.

COORDINATE SCHEDULING OF WORK IN EXISTING OCCUPIED AREAS WITH OWNER. ACCESS TO AREAS DURING WORK HOURS IS DEPENDENT ON OWNER SCHEDULE.

AT EXISTING CONSTRUCTION, INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. AT ALL OTHER INTERIOR DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD.

SEE SPECIFICATIONS FOR WORK BY OWNER. WORK BY OWNER SHOWN ON PLANS IS SUBJECT TO CHANGE.

CONTRACTOR TO COORDINATE SPECIAL INSTALLATION REQUIREMENTS WITH OWNER/OWNER'S VENDOR.

INSTALL ~~PRE-TREATED~~ WOOD BLOCKING FOR OWNER AND FINISH IN EXISTING WALLS TO MATCH EXISTING WALLS 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.

INSTALL ~~PRE-TREATED~~ WOOD BLOCKING FOR OWNER AND FINISH IN EXISTING WALLS TO MATCH EXISTING WALLS 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.

INSTALL GYPSUM BOARD CONTROL JOINT WITH 1/4" V JOINTS. INSTALL GYPSUM BOARD CONTROL JOINTS AT CORNERS, POSITIONS ABOVE JAMB OF WALL OPENING. SEE AS SHEETS FOR TYPICAL DETAILS.

FILL EXISTING GULF GAUGE STUD FRAMING (CLOSED) WITH INSULATION (FILL WITH MINERAL WOOL INSULATION). COMPLETELY CONCEAL ALL SPRAY FOAM AT INTERIOR SIDE OF EXTERIOR WALLS WITH GYPSUM BOARD OR INSULANTMENT COATING CODE REQUIRED (THERMAL BARRIER).

1 WASTEWATER TREATMENT EQUIPMENT PROVIDED BY OTHERS

MANUFACTURER: AVANTOR

PRODUCT: VWR CONTOUR LABORATORY FURNITURE

CONSTRUCTION

- STEEL CABINET BODIES, DRAWERS, SHELVES, DRAWER HEADS AND DOOR ASSEMBLIES SHALL BE FABRICATED FROM COLD ROLLED STEEL.
- DRAWER AND DOOR STYLE:
 - INSET – CONTOUR, DRAWERS AND DOORS SHALL HAVE A FULL WIDTH, INTEGRAL CONTOUR RADIUSLED PLUG ALONG THE TOP EDGE, AND WHEN CLOSED, SHALL BE RECESSED TO CREATE AN OVERALL FLUSH FACE WITH 1/8" REVEALS. THE OUTER DRAWER AND DOOR HEAD SHALL HAVE A CHANNEL FORMATION ON ALL FOUR SIDES TO ELIMINATE SHARP RAW EDGES. THE TOP PORTION CORNERS OF THE DOOR SHALL BE WELDED AND GROUND SMOOTH. CABINETS SHALL BE AVAILABLE WITH EITHER POSITIVE OR ROLLER DOOR CATCHES.
- HARDWARE:
- HINGES:
 - INSET 5-KNUCKLE HINGES (TYPE 304 STAINLESS STEEL) 2-1/2" HIGH
- ADJUSTABLE SHELF SUPPORTS:
 - SHELF ADJUSTMENT CLIPS SHALL BE DIE FORMED, NICKEL-PLATED STEEL.
- DRAWER SLIDES
 - HEAVY DUTY, FULL EXTENSION, SOFT-CLOSE, ZINC PLATED, BALL BEARING SLIDES RATED FOR 100 POUND LOADS.
- SINK SUPPORTS
 - SINK SUPPORTS SHALL BE THE HANGER TYPE, SUSPENDED FROM END OF SINK CABINET BODIES WITH 1/2" DIAMETER RODS, THREADED AT BOTTOM END AND OFFSET AT TOP TO HANG FROM TWO FULL-DEPTH REINFORCEMENTS, WELDED TO THE TOP OF END PANELS. TWO 3/4" X 1/2" ALUMINUM CHANNELS SHALL BE HUNG ON THE THREADED RODS TO PROVIDE AN ADJUSTABLE SINK CRADLE FOR SUPPORTING SINKS.

MISC: PROVIDE MIN. (1) ADJUSTABLE SHELF PER CABINET

FINISH: SEE MATERIAL LEGEND

STYLE: SOLID EPOXY RESIN COUNTERTOPS

MANUFACTURER: DURCON

CONSTRUCTION

- FABRICATE TOPS IN ONE PIECE w/ INTEGRALLY MOLDED BACKSPLASHES. FURNISH LOOSE END SPLASHES WHERE WORK SURFACES ADJACENT CONSTRUCTION AS INDICATED ON DRAWINGS. COMPLY w/ MANUF. SPECS FOR ADHESIVES, SEALER FABRICATION, FINISHING, AND INSTALLATION.
- CONFIGURATION
- BACKSPLASH AND SIDE SPLASH TO BE SQUARE EDGE
 - FRONT EDGE TO BE FLAT
 - EDGE TREATMENT SHALL BE EASED FOR SAFETY
 - JOINTS BONDED WITH EPOXY GROUT
 - SINK CUTOUT - COORDINATE WITH PLUMBING

ACCESSORIES:
-MANUFACTURER'S JOINT ADHESIVE, PANEL ADHESIVE, AND
SEALANTS AS REQUIRED TO SUITE PROJECT CONDITIONS.

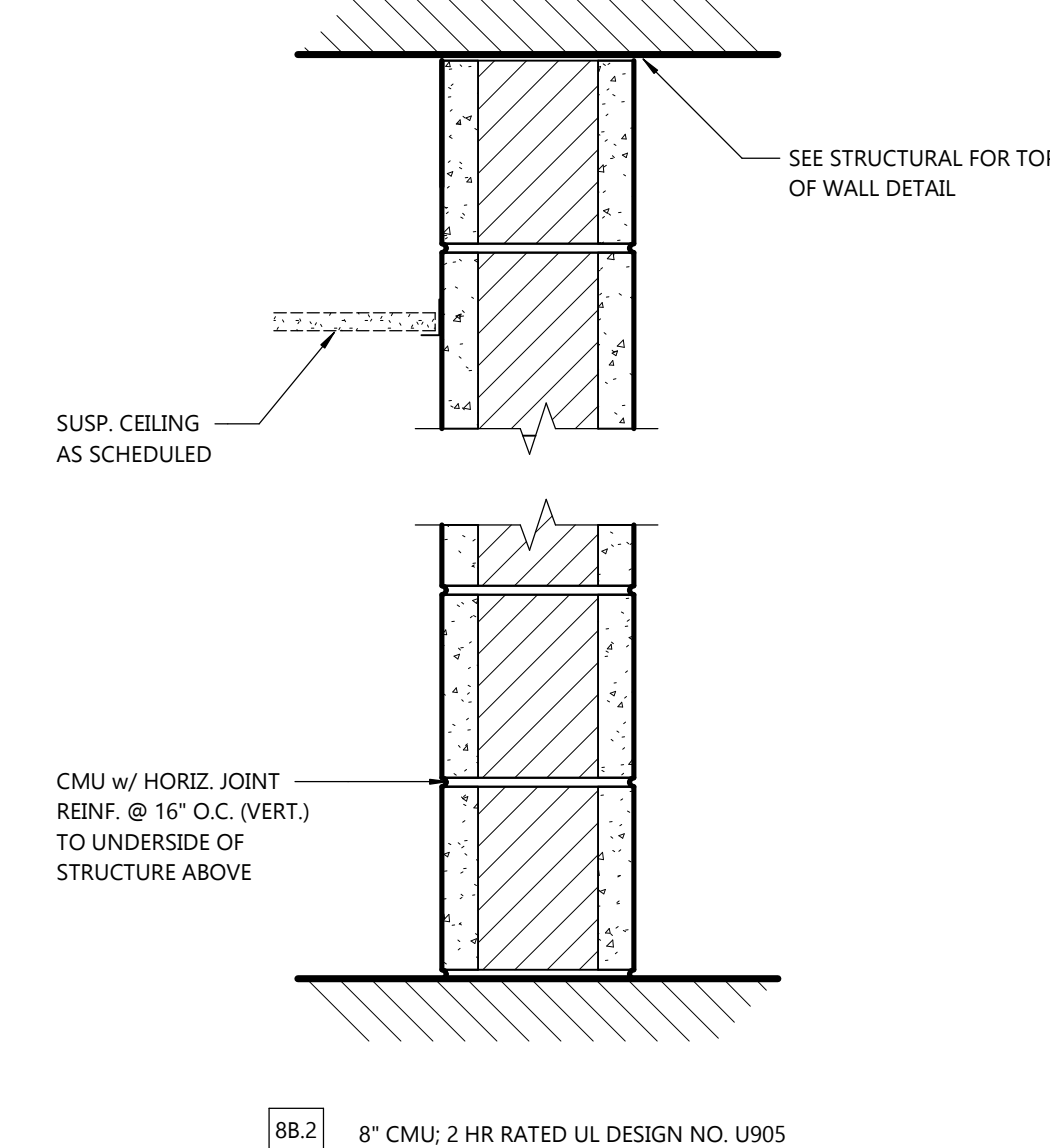
FINISH: SEE MATERIAL LEGEND

— METAL CLAD INSULATED PANEL

NOTE:
 BASE AND TOP CONDITIONS VARY
 — SEE ARCHITECTURAL SECTIONS
 AND DETAILS

PLAN DETAIL

4IMP 4" INSULATED METAL PANEL



8B.2 8" CMU; 2 HR RATED UL DESIGN NO. U905

COLLABORATION



Building Excellence
Miron Construction Co., Inc.
1471 McMahon Drive
Neenah, WI 54956

PROJECT INFORMATION

TRASH SCREENING ROOM ADDITION FOR:
OSI INDUSTRIES
1200 INDUSTRIAL DRIVE • FORT ATKINSON, WI 53538

PROFESSIONAL SEAL

PRELIMINARY DATES

SEPT. 2, 2025
SEPT. 5, 2025
SEPT. 16, 2025
OCT. 7, 2025

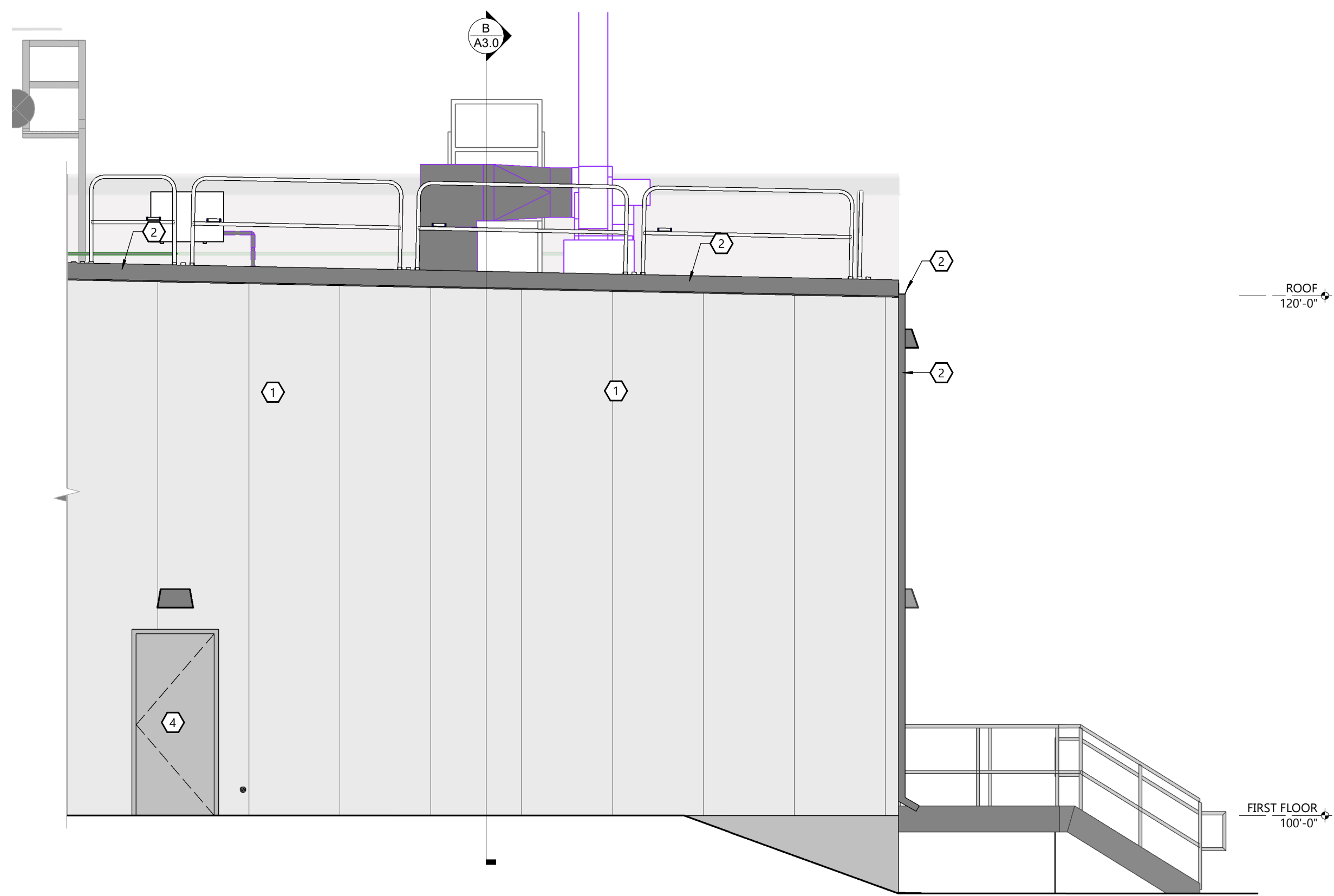
NOT FOR CONSTRUCTION

JOB NUMBER

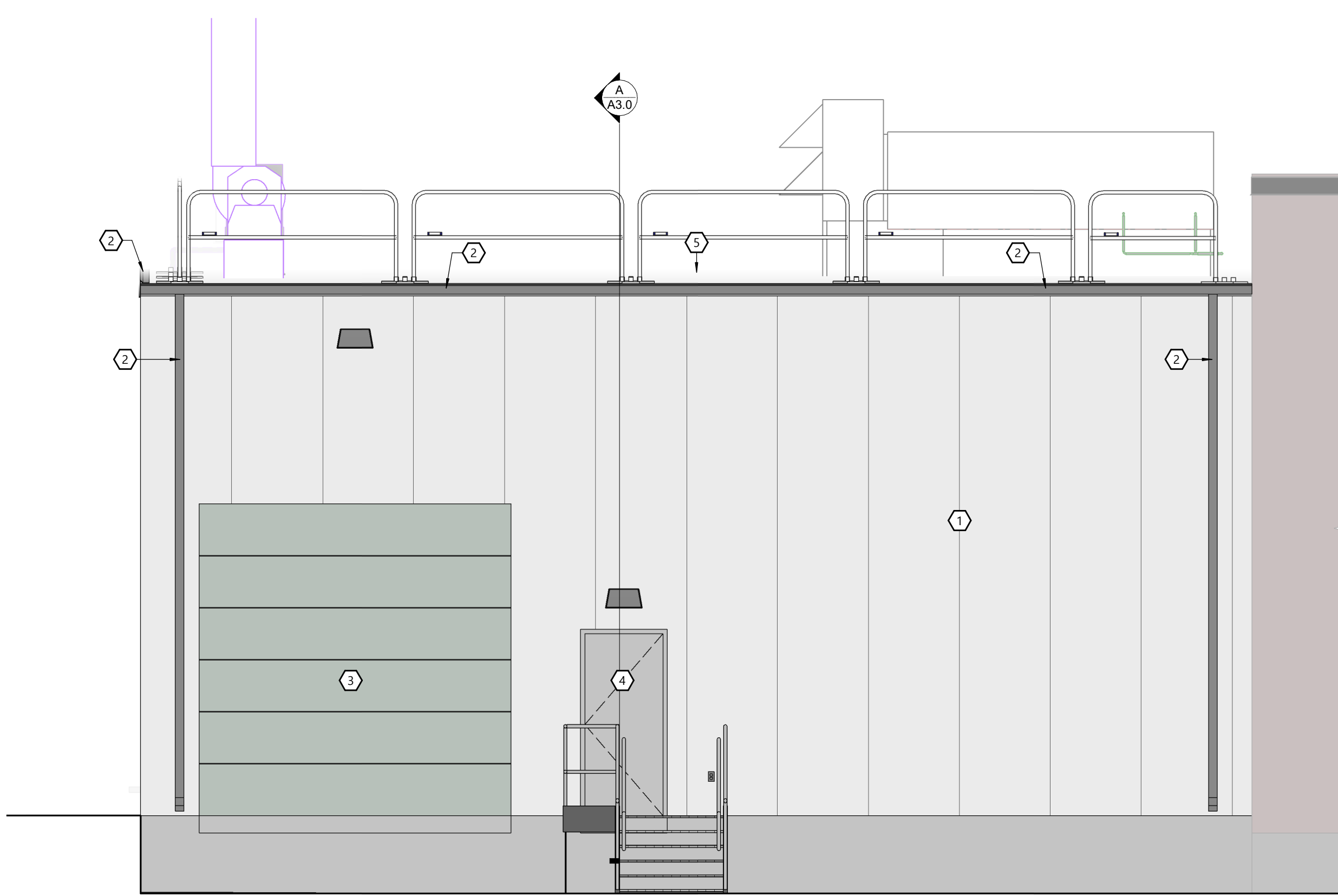
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SHEET NUMBER

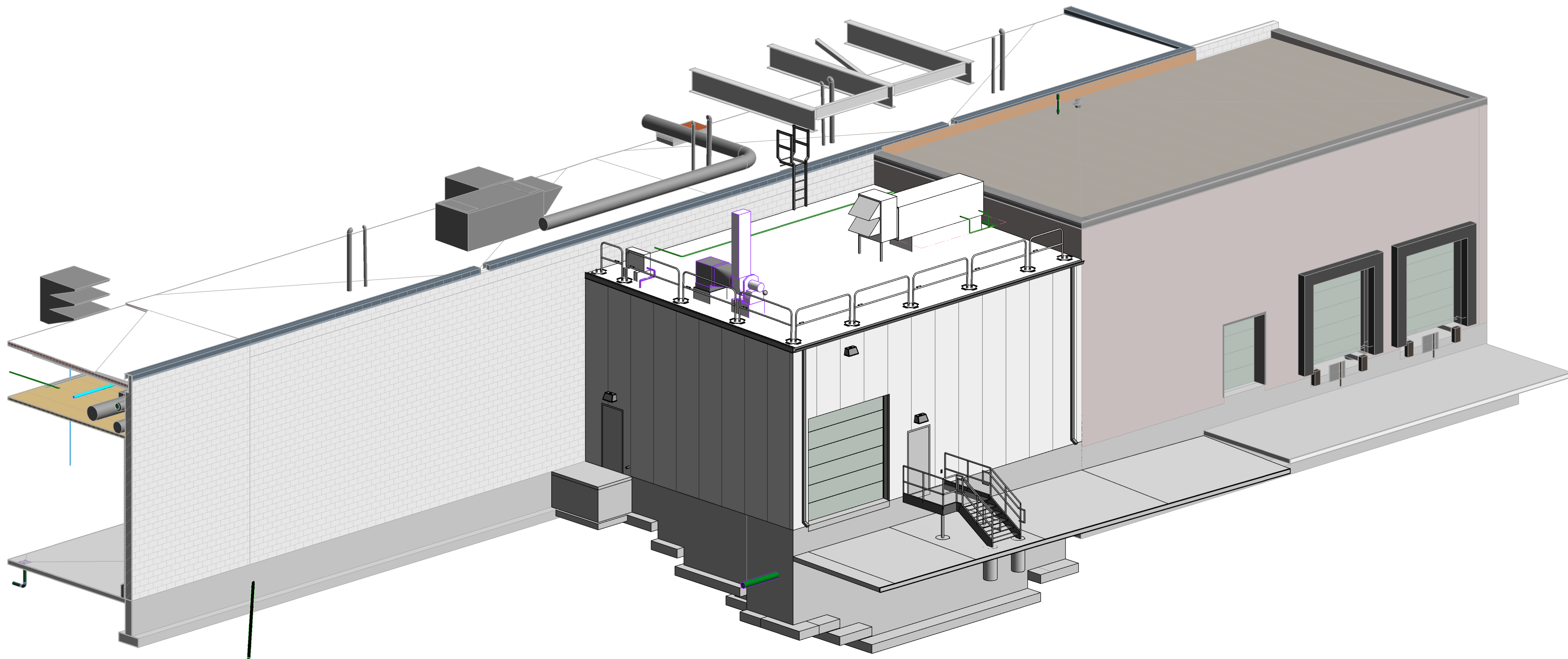
A1.1



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



ISOMETRIC VIEW
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- SEE WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION
- REFERENCE EXTERIOR ELEVATIONS FOR VENEER CONTROL JOINTS. SEE STRUCTURAL PLANS FOR CMU CONTROL JOINT LOCATIONS. VENEER CONTROL JOINTS AND CMU CONTROL JOINTS ARE NOT REQUIRED TO ALIGN.

EXTERIOR MATERIAL KEY

- 1 INSULATED METAL PANEL (CLADDING)**
METL-SPAN
CF LIGHT MESA
COLOR: POLAR WHITE
- 2 PREFIN. METAL ROOF TRIM, GUTTERS, & DOWNSPOUTS**
TRIM: 81 ROOF MANUF.
GUTTER & D.S.: SEE SPECIFICATION ON ROOF PLANS
COLOR: GRAY
- 3 OVERHEAD SECTIONAL DOOR**
SEE DOOR SPECIFICATIONS
COLOR: GRAY
- 4 HOLLOW METAL DOOR & FRAME**
DOOR PAINTED
COLOR: GRAY
COLOR TO MATCH
- 5 PVC ROOFING MEMBRANE**
SEE SPECIFICATION ON ROOF PLANS

PROJECT INFORMATION

TRASH SCREENING ROOM ADDITION FOR:
OSI INDUSTRIES
1200 INDUSTRIAL DRIVE • FORT ATKINSON, WI 53538

PROFESSIONAL SEAL

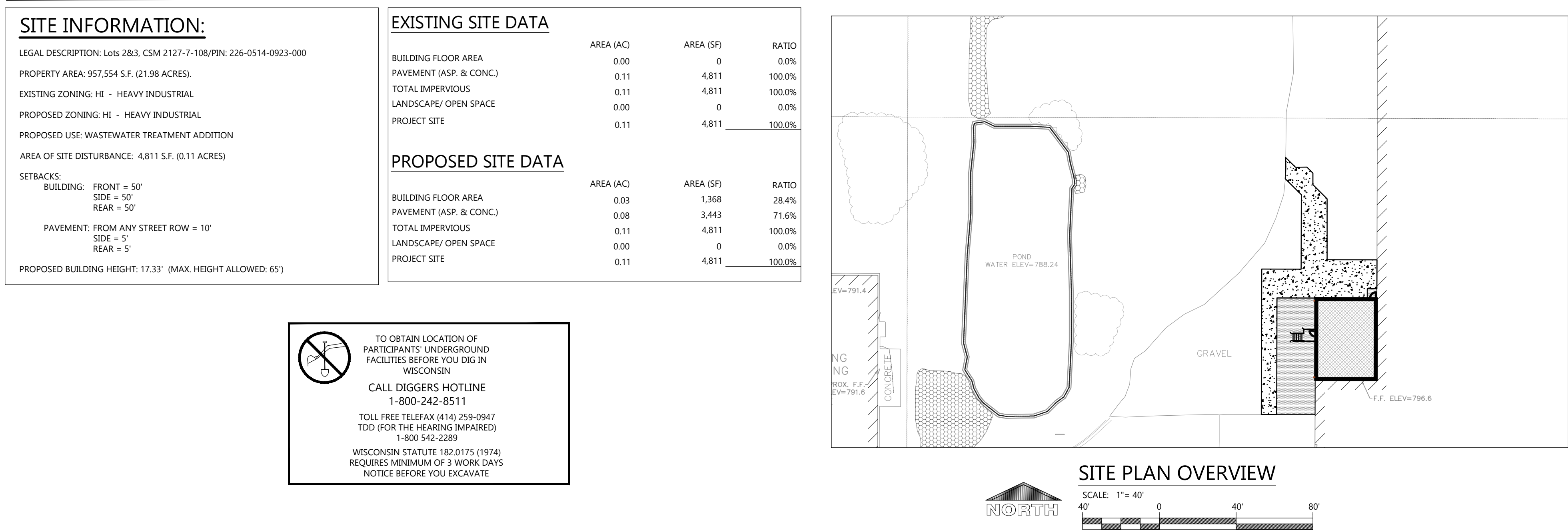
PRELIMINARY DATES
SEPT. 16, 2025
OCT. 7, 2025
NOT FOR CONSTRUCTION

JOB NUMBER
250219400

SHEET NUMBER
A2.0

TRASH SCREENING ROOM ADDITION FOR: OSI INDUSTRIES FORT ATKINSON, WI

PROJECT INFORMATION



CIVIL SPECIFICATIONS

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING (DEMOLITION)

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE AT TIME OF DEMOLITION. THE TELEVISION SHALL BE COMPLETED TO ENSURE THE EXISTING LATERALS) ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVISION OF THESE LATERALS) SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD TELEVISION.
- C. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION.
- D. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT CONTRACTORS EXPENSE.
- E. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS.
- C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADE BEFORE PLACING FILL WITH HEAVY PNEUMATIC TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS.
- D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS, UNIFORMLY MOSTEN OR ABRATE SUBGRADE AND EACH SUBSEQUENT FILL OR BACKFILL LAYER BEFORE COMPACTING AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY.
- E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
- F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698, STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.
- G. UNDER FOUNDATIONS - SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT.
- H. UNDER INTERIOR SLAB ON GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
- I. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE, PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT.
- J. UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
- K. UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT.
- L. UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 85 PERCENT.
- M. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF PASSING DENSITY TESTING AND PROOF-ROLLING TO ENGINEER UPON COMPLETION. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS.
- N. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STEP FOOTING.
- O. WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOSTEN OR ABRATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED, RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED.
- P. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN.

31 30 00 EROSION CONTROL

- A. THE GRADING PLAN REFLECTS LESS THAN 1 ACRE OF DISTURBED AREA. THE SITE IS THEREFORE EXEMPT FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES NR 216 NOTICE OF INTENT REQUIREMENTS. THE DESIGN ENGINEER SHALL PREPARE AN EROSION CONTROL PLAN TO MEET NR 151.105 CONSTRUCTION SITE PERFORMANCE STANDARDS FOR NON-FERMENTED SITES.
- B. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151. THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.
1. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION).
2. DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT EDITION).
3. STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3 INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE GRANULAR POINT (12" MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES, TREE WASHING, AND STRIP/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFF-SITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION).
4. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1160 (CURRENT EDITION).
5. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION).
6. THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS, AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.
7. CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.
8. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
9. IF SITE DRYMATING IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE DRYMATING PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061.
10. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). FLUSHINGS SHALL NOT BE ALLOWED.
- C. ALL EROSION CONTROL DEVICES SHALL AT A MINIMUM BE INSPECTED EVERY 7 CALENDAR DAYS OR EVERY 14 DAYS AND WITHIN 24 HOURS OF THE END OF A RAIN EVENT OF 0.5" OR MORE. MAINTENANCE SHALL BE PERFORMED PER WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151 STORMWATER MANAGEMENT TECHNICAL STANDARD REQUIREMENTS.
- D. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREAS(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER.
- E. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.

DIVISION 32 EXTERIOR IMPROVEMENTS

32 10 00 GRAVEL AREAS

- A. CONTRACTOR TO PROVIDE COMPACTED GRAVEL WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR TO PROVIDE AGGREGATE TYPES AND DEPTHS AS INDICATED BELOW:
- 4" OF 3/4" CRUSHED AGGREGATE
- 8" OF 3" CRUSHED AGGREGATE
- B. CONTRACTOR TO COMPACT THE AGGREGATE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL GRAVEL AREAS SHALL BE GRADED TO WITHIN 0.10' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1% SLOPE SHALL BE MAINTAINED IN ALL GRAVEL AREAS.

32 20 00 CONCRETE AND AGGREGATE BASE

- A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS.
- B. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- C. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 308R-08 & ACI 318-08.
- D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THE SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS:
1. SIDEWALK CONCRETE - 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONSTRUCTION JOINTS SHALL CONSIST OF 1/8" WIDE BY 1" DEEP TOOLED JOINT WHERE INDICATED ON THE PLANS.
2. HEAVY UTILITY CONCRETE (UNDER TRAFFIC) - 6" OF CONCRETE OVER 6" OF 3/4" CRUSHED AGGREGATE. CONCRETE SHALL BE REINFORCED WITH #3 REBARS ON CHAIRS AT 3' O.C. REBAR SHALL BE PLACED PLACED IN THE UPPER 1/3 TO 1/2 OF THE SLAB. CONSTRUCTION JOINTS SHALL BE SAWCUT 1.5" IN DEPTH AND BE SPACED A MAXIMUM OF 15' ON CENTER.
- E. DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94
1. STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.
2. MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45.
3. SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK.
4. SLUMP SHALL BE 2" OR LESS FOR SLP-FORMED CURB AND GUTTER.
5. SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON-SLP-FORMED CURB AND GUTTER.
6. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 6% AIR CONTENT, UNLESS OTHERWISE SPECIFIED. CONCRETE SHALL BE PROVIDED ON 6" OF 3/4" CRUSHED AGGREGATE BASE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH THE RESPECTIVE CONTRACTOR.
- G. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS.
- H. CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB, JOINTING IN THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C1039 SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT AND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS.
- I. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" FOR UP TO #5 BARS AND 2" FOR #6 TO #10 BARS IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 48 DIAMETERS FOR UP TO #5 BARS, 62 DIAMETERS FOR #7 TO #9 BARS, 68 DIAMETERS FOR #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRS AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 1064. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.
- J. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD. BUT LESS THAN 25 CU. YD., PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF. PERFORM COMPRESSIVE STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
- K. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COOL OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREENING AND BULL FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING.
- L. LIMIT MAXIMUM WATER-CEMENTITIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICKING SALTS TO 0.45.
- M. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH ON SITE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.

DIVISION 33 UTILITIES

33 10 00 SITE UTILITIES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR PER CODE OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY.
- B. CONTRACTOR TO FIELD TELEVIEW ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE. THE TELEVISION SHALL BE COMPLETED TO ENSURE THE EXISTING LATERALS) ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVISION OF THESE LATERALS SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD TELEVISION.
- C. ALL SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. ALL SANITARY PIPE BELOW PROPOSED & FUTURE BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL. INSULATION SHALL BE PROVIDED PER STATE PLUMBING CODES AS NECESSARY BASED ON PROPOSED DEPTH PER PLANS.
- D. SANITARY AND PROCESS MANHOLES SHALL BE 48" PRECAST AND CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN-CURRENT EDITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER. PROCESS MANHOLES SHALL BE LINED W/ GSE STUDLINER LINING. SANITARY & PROCESS MANHOLE FRAME AND GRATE TO BE NENAH R-1550-A OR EQUAL. RM ELEVATION TO BE SET AT FINISHED GRADE IN DEVELOPED AREAS AND 12" ABOVE FINISHED GRADE IN UNDEVELOPED AREAS EXCEPT AS OTHERWISE DIRECTED BY THE ENGINEER.
- E. CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY & STORM SERVICES AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY/STORM SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOUT SHALL CONSIST OF A 4" (4" OR 6") VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PRECREDITED FROST DEPTH. THE CLEANOUT IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A CURB (24" IN) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES. SLOPING AWAY FROM THE SLEEVE. THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURERS REQUIREMENTS.
- F. ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. 6" MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE SPECIFIED.
- G. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. ALL PROPOSED STORM PIPE BELOW BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 8" HORIZONTALLY FROM FOUNDATION WALLS.
- H. SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS.
- I. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN STORM SEWER FOR INTERNALLY DRAINER BUILDINGS TO A POINT WHICH IS A MAXIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN DOWNSPOUT LEADS TO BUILDING FOUNDATION AND UP 6" ABOVE SURFACE GRADE FOR CONNECTION TO DOWNSPOUT FOR ALL DOWNSPOUT TO RISER (DSR) CONNECTIONS. DOWNSPOUTS TO GRADE (DSG) SHALL BE PROVIDED WITH SPLASH BLOCKS AT THE DISCHARGE LOCATION. ALL DOWNSPOUT LOCATIONS SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS AND DOWNSPOUT CONTRACTOR/GC PRIOR TO INSTALLATION OF DOWNSPOUT LEADS. DOWNSPOUT LEADS SHALL NOT UNDERMINE BUILDING FOUNDATIONS. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION.
- J. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. TRACER WIRE SHALL TERMINATE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AT GRADE OR IN TERMINATION BOX PER LOCAL STATE REQUIREMENTS.
- K. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED PER STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. THE EXCEL ENGINEERING DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL (IF REQUIRED). THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM SEWER.
- L. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.

SHOP DRAWING SUBMITTALS

MATERIAL / INFORMATION

1. 31.10.00 - TELEVISION REPORTS OF EXISTING LATERALS
- STORM
 - SANITARY
2. 31.20.00 - FILL
- PRODUCT DATA
 - SOURCE MATERIAL
4. 32.20.00 - CONCRETE AND AGGREGATE BASE
- DESIGN MIX
 - AGGREGATE BASE
 - COMPRESSION TEST RESULTS
5. 33.10.00 - SITE UTILITIES
- SANITARY PIPING MATERIALS
 - STORM PIPING MATERIALS
 - WATER PIPING MATERIALS
 - WATER FITTINGS & APPURTENANCES



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100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

TRASH SCREENING ROOM ADDITION FOR:
OSI INDUSTRIES
1200 INDUSTRIAL DRIVE • FORT ATKINSON, WI 53538

TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE

Utility	Material	Pipe Code	Fitting Code	Joint Code
*Sanitary Sewer	SCH-40 PVC	ASTM D1785, ASTM D2665, ASTM F891	ASTM F1336	Primer: ASTM F656 Solvent Cement: ASTM D2564
*Storm Sewer	SCH-40 PVC	ASTM D1785, ASTM D2665, ASTM F891	ASTM F1336	Primer: ASTM F656 Solvent Cement: ASTM D2564

PROFESSIONAL SEAL

PRELIMINARY DATES

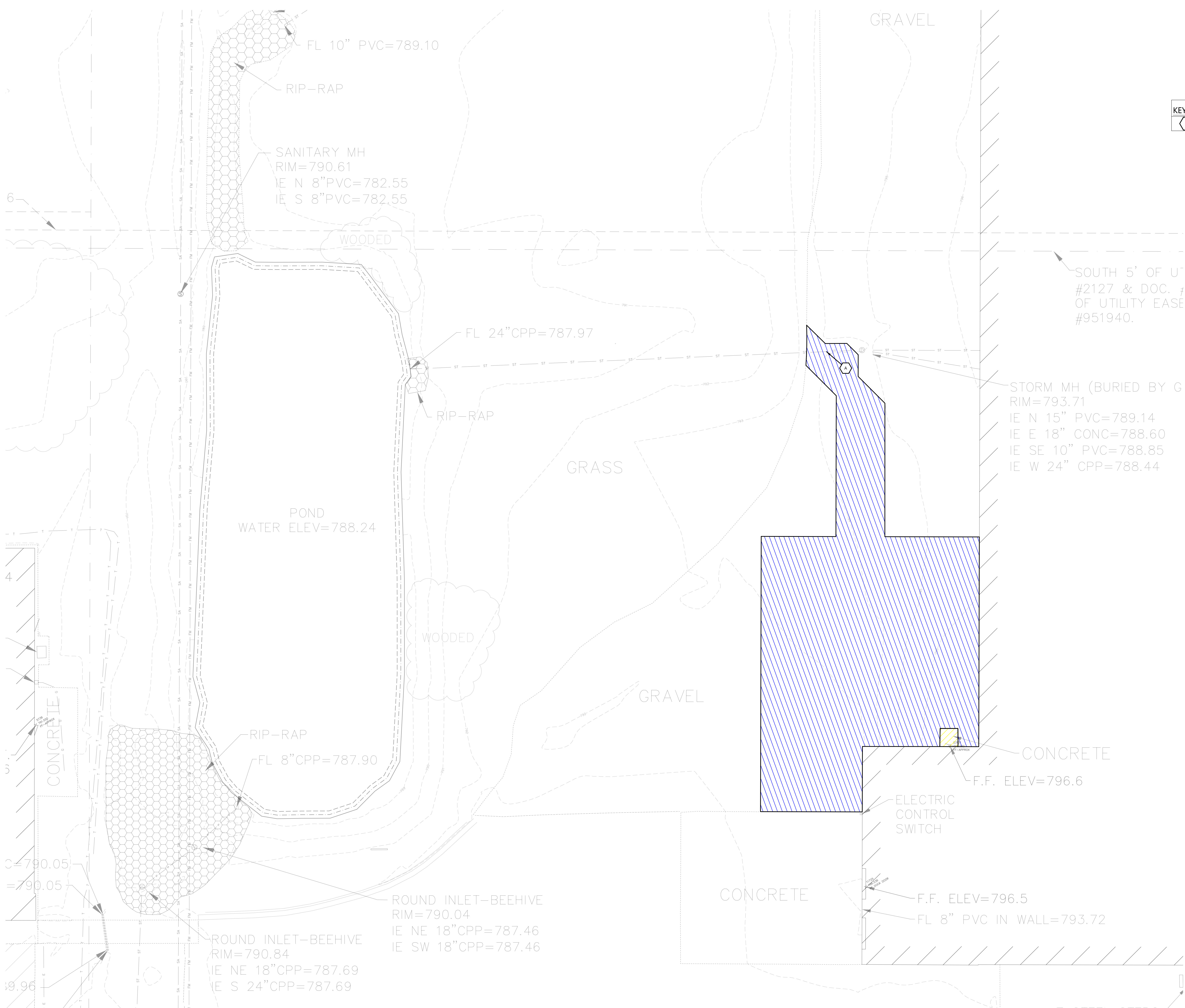
OCT. 7, 2025

JOB NUMBER

250219400

SHEET NUMBER

C0.2



LEGEND:

- SAWCUT AND REMOVE CONCRETE
- RELOCATE/REGRADE GRAVEL
COORDINATE WITH OWNER

KEYNOTES

- PROTECT STORM LINE

EXCEL

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Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

TRASH SCREENING ROOM ADDITION FOR:
OSI INDUSTRIES
1200 INDUSTRIAL DRIVE • FORT ATKINSON, WI 53538

PROFESSIONAL SEAL

PRELIMINARY DATES

SEPT. 16, 2025
OCT. 7, 2025

NOT FOR CONSTRUCTION

JOB NUMBER

250219400

SHEET NUMBER

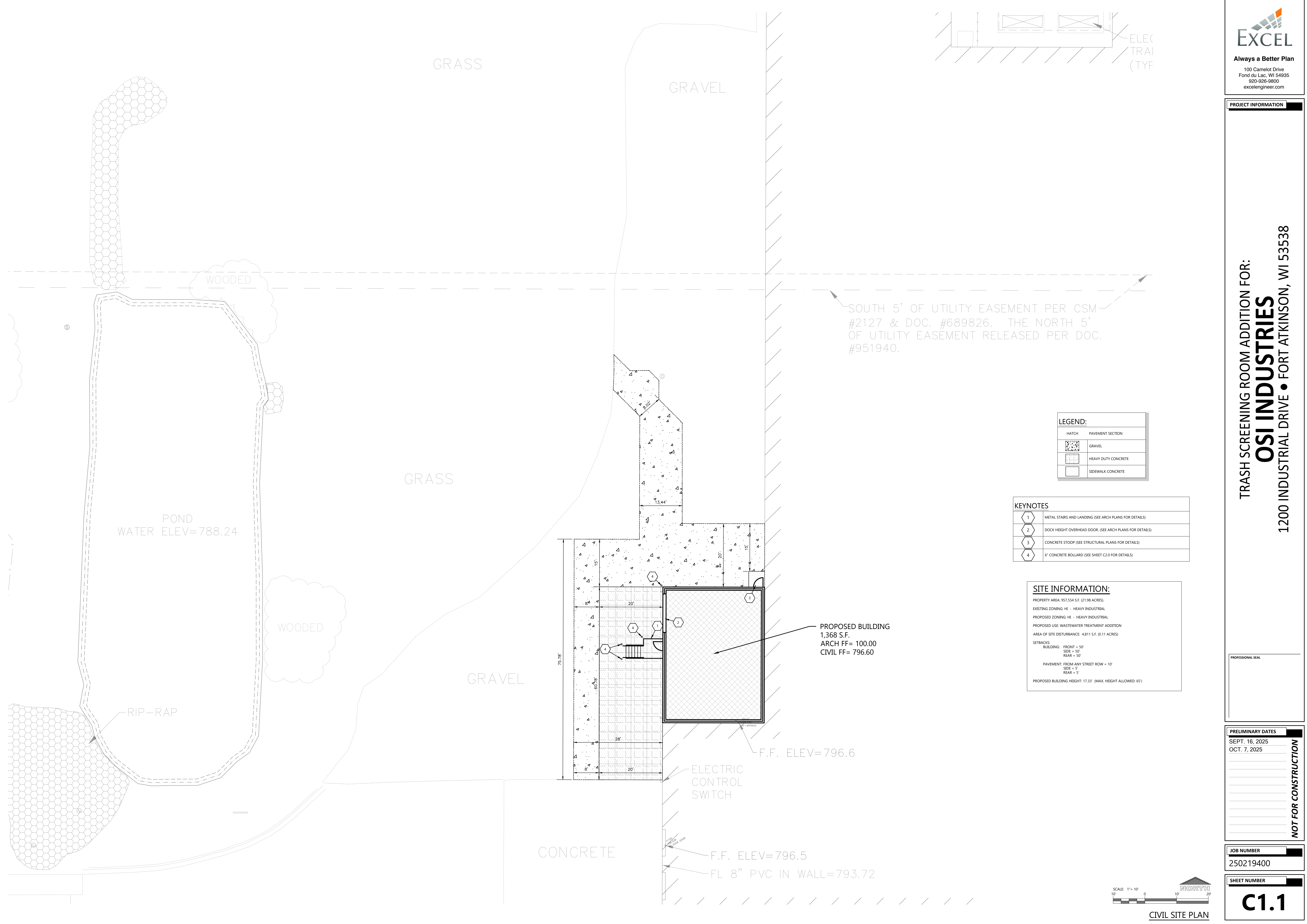
C1.0

SCALE: 1"= 10'

10' 0 10' 20'

NORTH

CIVIL EXISTING SITE AND DEMOLITION PLAN



PROJECT INFORMATION

TRASH SCREENING ROOM ADDITION FOR:
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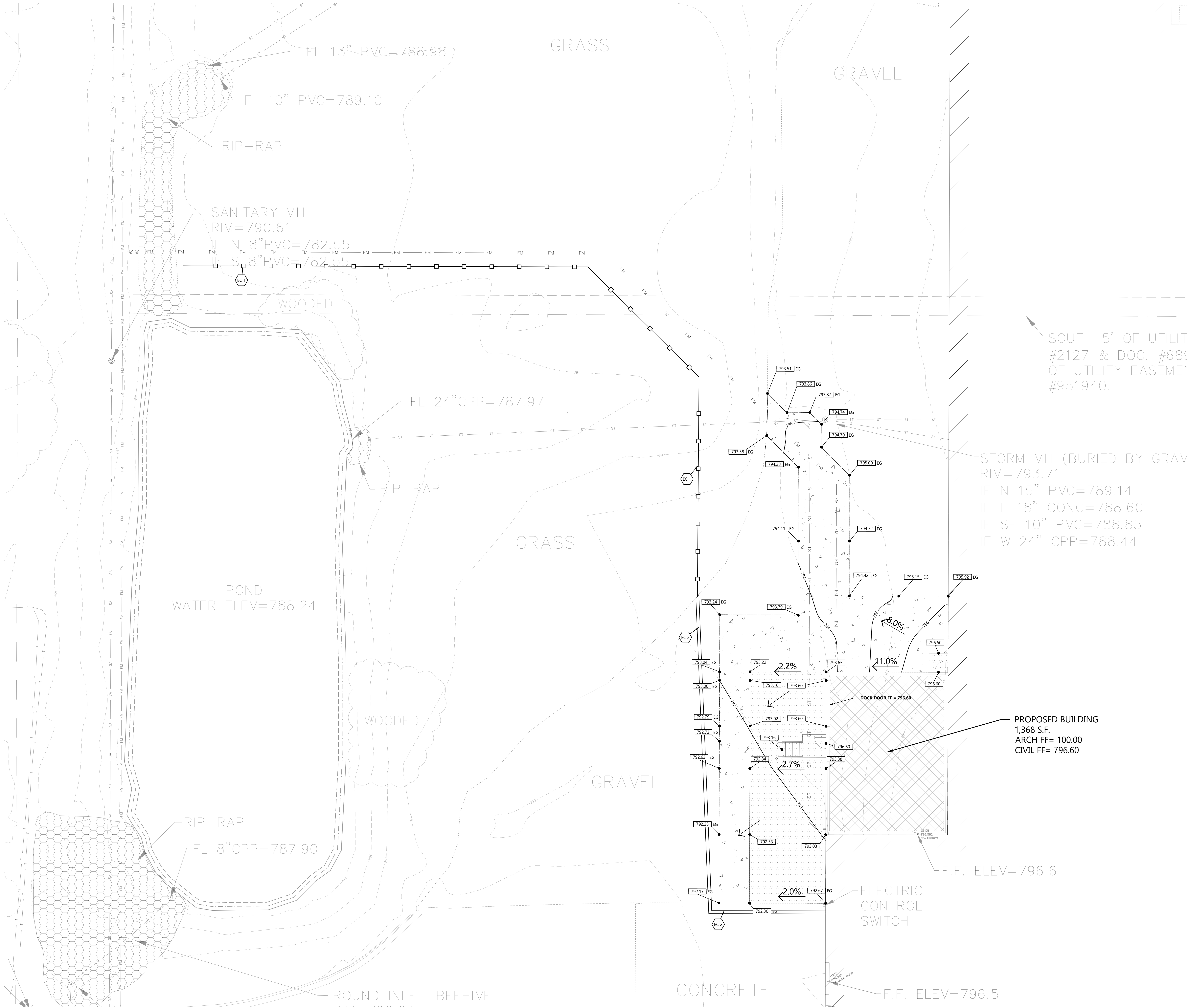
PROFESSIONAL SEAL

PRELIMINARY DATES
SEPT. 16, 2025
OCT. 7, 2025

JOB NUMBER
250219400

SHEET NUMBER
C1.1

NOT FOR CONSTRUCTION



- GENERAL NOTES:**
- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1:50 IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION).
 - ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1:50 AND RUNNING SLOPE OF 4:50% UNLESS OTHERWISE SPECIFIED.
 - CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.
 - CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.
 - CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ON-SITE & OFF-SITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

KEYNOTES	
EC 1	SILT FENCE
EC 2	SILT SOCK



Excel

Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

TRASH SCREENING ROOM ADDITION FOR:
OSI INDUSTRIES
1200 INDUSTRIAL DRIVE • FORT ATKINSON, WI 53538

PROFESSIONAL SEAL

PRELIMINARY DATES

SEPT. 16, 2026

OCT. 7, 2025

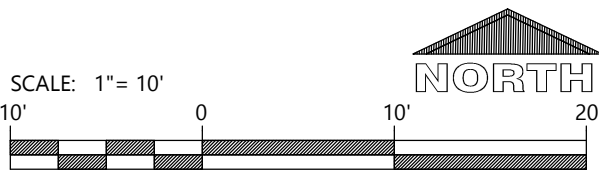
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JOB NUMBER

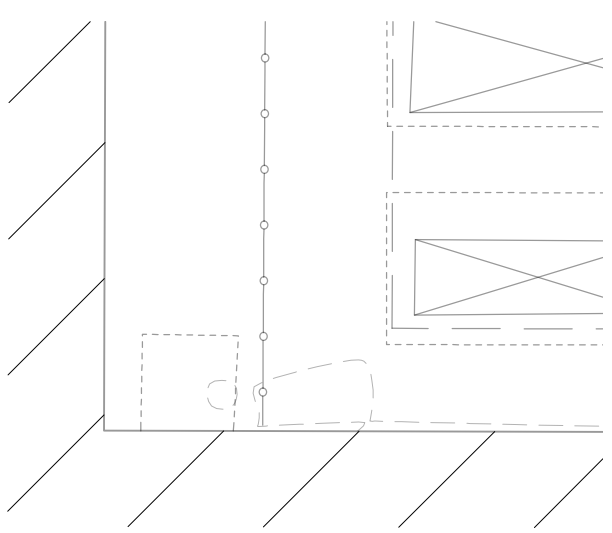
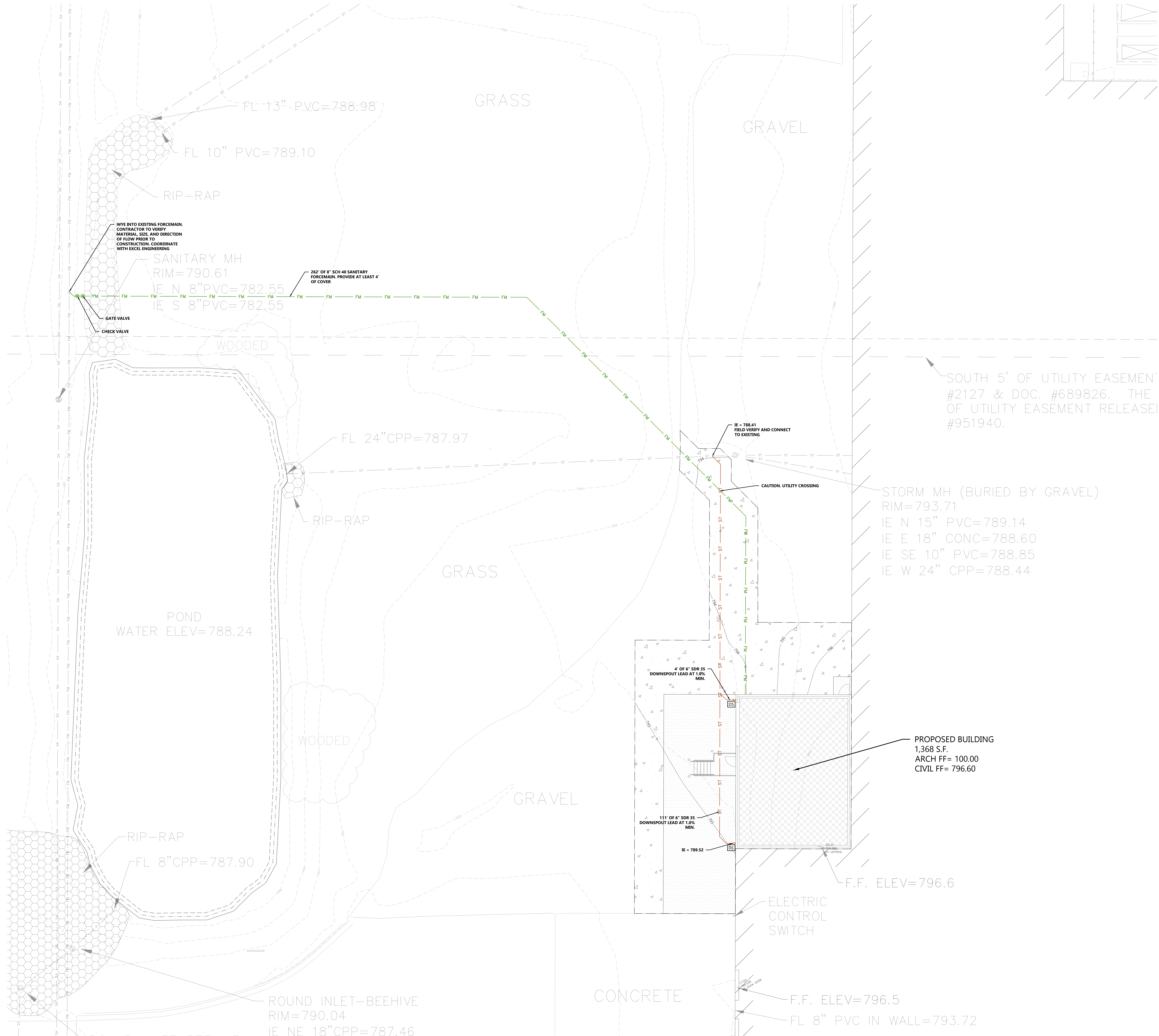
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SHEET NUMBER

C1.2



CIVIL GRADING AND EROSION CONTROL PLAN



PROJECT INFORMATION

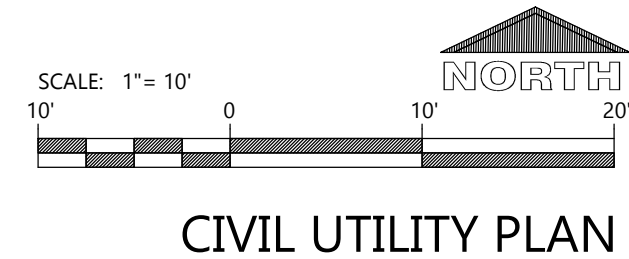
TRASH SCREENING ROOM ADDITION FOR:
OSI INDUSTRIES
1200 INDUSTRIAL DRIVE • FORT ATKINSON, WI 53538

PROFESSIONAL SEAL

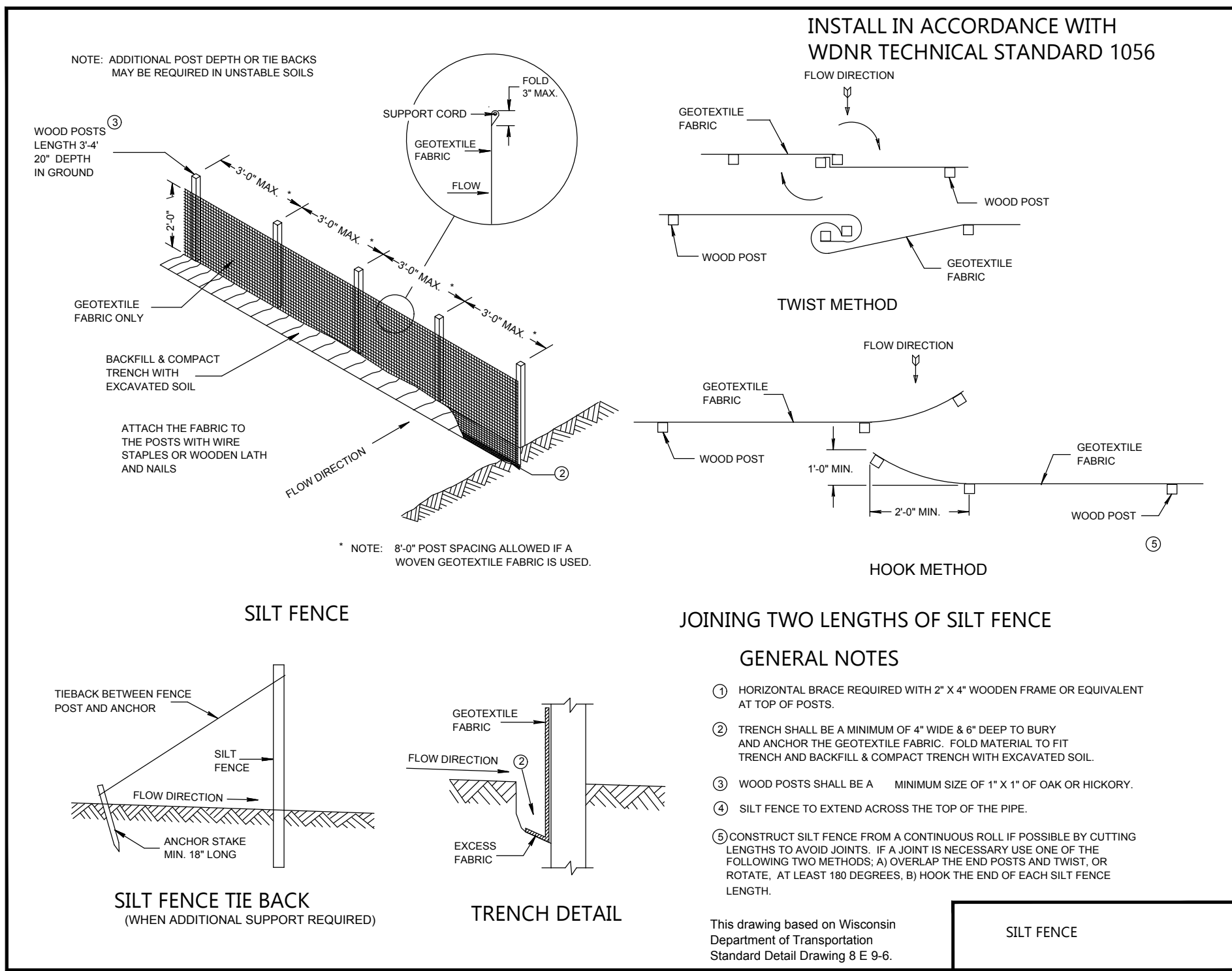
PRELIMINARY DATES
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OCT. 7, 2025
NOT FOR CONSTRUCTION

JOB NUMBER
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SHEET NUMBER
C1.3

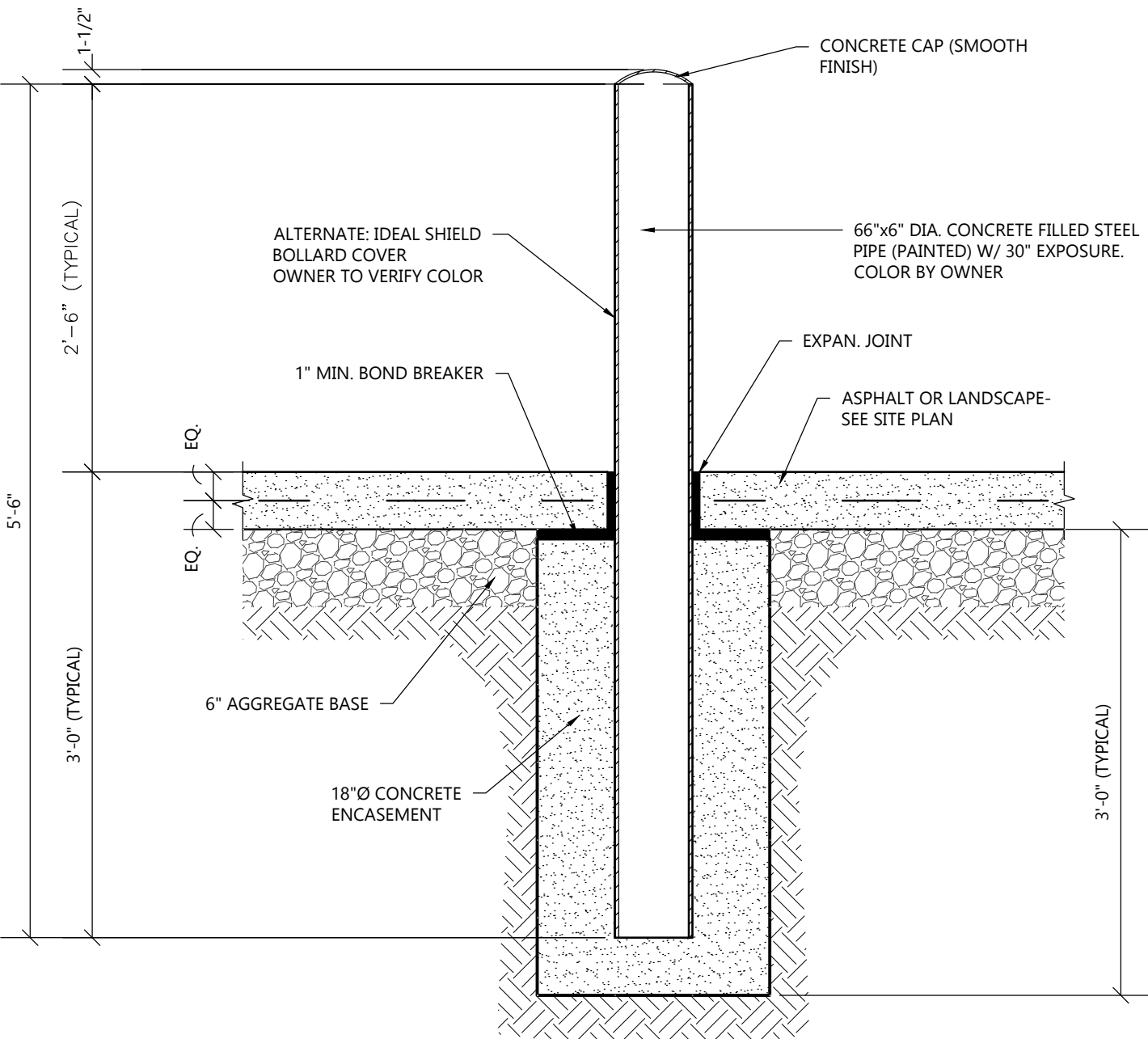


CIVIL UTILITY PLAN



SILT FENCE - INSTALLATION DETAIL

NOT TO SCALE



6" PIPE BOLLARD DETAIL

NOT TO SCALE

PROJECT INFORMATION

TRASH SCREENING ROOM ADDITION FOR:

OSI INDUSTRIES

1200 INDUSTRIAL DRIVE • FORT ATKINSON, WI 53538

PROFESSIONAL SEAL

PRELIMINARY DATES

OCT. 7, 2025

NOT FOR CONSTRUCTION

JOB NUMBER

250219400

SHEET NUMBER

C2.0

October 14, 2025

Project Narrative

Project: **OSI Trash Screening Room Addition**
1200 Industrial Drive
Fort Atkinson, WI 53538

OSI Industries is requesting site plan review and approval for a building addition at their existing facility located at 1200 Industrial Drive (Tax Parcel 226-0514-0923-000). The property is zoned HI – Heavy Industrial, and the proposed project is a permitted use. Adjacent properties are also zoned HI – Heavy Industrial.

The existing property is 21.98 acres in size and the total site disturbance for this project will total 0.11 acres. The project scope includes the construction of a 1,368 SF building addition to house a trash screening process for their process water before it leaves the main plant building. A loading dock will be constructed on the west face of the building along with 2 service doors. A concrete pad will also be constructed on the west side of the building with an elevation of 3' below finished floor to allow for appropriate loading of a truck at the dock. Surrounding gravel will be placed and adjusted to match into existing grades.

Existing surface drainage pathways will be maintained with no additional impervious surfaces added with additional stormwater management not needed. A new 6" storm pipe will be installed to conduct roof water directly to existing storm sewer to the north that ultimately drains to the existing pond to the west. A new force main will also be constructed and tied into their existing on-site force main to their treatment facilities.

The proposed project will conform to applicable ordinance requirements of the HI zoning district. The proposed project is consistent with the Comprehensive Plan as the Future Land Use Map has the area designated as GI-General Industrial. The proposed project will not have any negative impact on the community or neighboring properties.

JANESVILLE AVE BUSINESS DISTRICT PLANNING AREA

FIGURE: 2.18

CITY OF FORT ATKINSON
FUTURES OPEN HOUSE



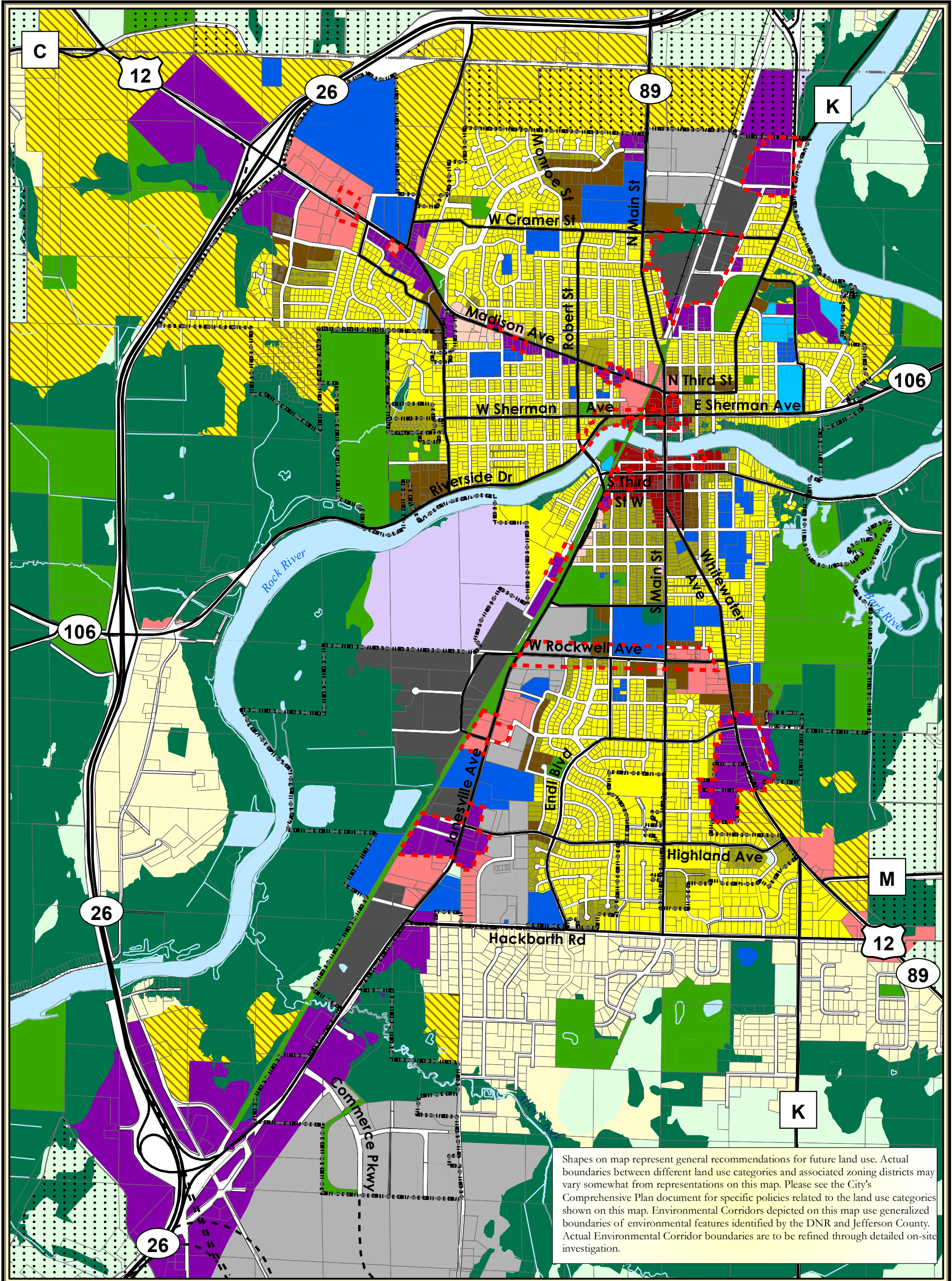
Opportunities

- Regional Entertainment Center ("2nd Night")
- Community-serving retail & dining redevelopment
- Some industrial relocation to modern business parks
- Fireside Theater helps support other uses (e.g. gifts, high-end hospitality)
- Development design standards & access control
- Landscaping, street & utility enhancements

Note: This map is not a Detailed Future Land Use Map or Future Transportation Map for zoning and other decision making. The purpose of this map is to show conceptual future growth options and facilitate public discussion.

Conceptual Land Uses

- Community Commercial
- Downtown
- Major Institutions
- Mixed-Use
- Neighborhood
- Employment
- Environmental Corridors
- Agriculture
- Existing Major Roads
- Potential Future Roads
- Main Trails (existing & proposed)



**City of Fort Atkinson
Comprehensive Plan**

Map 7: Future Land Use - City View

- City Boundaries
- Town Boundaries
- Parcels
- Right of Way
- Major Roads
- Previously Proposed Hwy 12 Bypass

- AG - Agriculture/Rural
- P - Parks
- EC - Environmental Corridor
- SF-U - Single Family Residential - Urban
- SF-E - Single Family Residential - Exurban
- TF - Two Family/Townhouse Residential
- MR - Manufactured Residential
- MF-R - Multi-Family Residential

- PN - Planned Neighborhood
- NC - Neighborhood Commerical
- CC - Community Commerical
- DT - Downtown
- LI - Light Industrial/Business Park
- GI - General Industrial
- CF - Community Facilities
- HF - Health Facilities
- PMU - Planned Mixed Use

- F-H - Farm-Historic
- UGA - Long Range Urban Growth Area
- Future Redevelopment Opportunity Area
- Surface Water

Sources: Jefferson County - County Land Use; Vandewalle and Associates - Fort Atkinson Land Use

0 0.125 0.25 0.5 0.75 Miles

VANDEWALLE & ASSOCIATES INC. 3/19/19 Amended: 6/6/23
Shaping places, shaping change

