



City of Fort Atkinson  
City Manager's Office  
101 N. Main Street  
Fort Atkinson, WI 53538

**PLAN COMMISSION MEETING  
IN PERSON AND VIA ZOOM  
TUESDAY, MARCH 24, 2026 – 4:00 PM  
CITY HALL – SECOND FLOOR**

<https://us02web.zoom.us/j/82214860406?pwd=TEVyUVdQM05VNFVzb0E2TUNTvnZlZz09>

Meeting ID: 822 1486 0406

Passcode: 53538

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**AGENDA**

**1. Call meeting to order**

**2. Roll call**

**3. New Business**

- a. Review and possible action relating to the **minutes of the March 10, 2026, Plan Commission meeting** (Ebbert, Clerk/Treasurer/Finance Director)
- b. Review and possible action on a Conditional Use Permit relating to occupancy by a construction company, including indoor business activities and ancillary equipment storage at the property located at 525 Jefferson St. (CUP-2026-02) (Draeger, Director of Neighborhood and Building Services)
- c. Presentation to the Plan Commission on **Premier Real Estate Management LLC, Concept Plan** for four 24-unit multifamily buildings located at 550 McMillen St. (Draeger, Director of Neighborhood and Building Services)
- d. Review and possible action relating to a **Site Plan Review** for signage at MBE CPA, 524 Whitewater Ave. (SPR-2026-02) (Draeger, Director of Neighborhood and Building Services)
- e. Review and possible action relating to the **Habitat for Humanity Fort Atkinson Critical Repair Program** guidelines (Houseman, City Manager)
- f. Update on previously approved projects (Houseman)

#### **4. Adjournment**

*Date Posted: March 20, 2026*

*CC: Plan Commission, City Council; City Staff; City Attorney; News Media; Fort Atkinson School District; Fort Atkinson Chamber of Commerce*

*Notice is hereby given that a majority of the Fort Atkinson City Council may be present at this meeting at the location and time indicated above to gather information about any subject matters on this agenda over which they have decision-making responsibility. This may constitute a meeting of the City Council pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis.2d. 553, 494 N.W.2d 408 (1993), and must be noticed as such although the City Council will not take any formal action at this meeting.*

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**PLAN COMMISSION MEETING  
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**MINUTES**

**1. Call meeting to order**

Chairperson Manager Houseman called the meeting to order at 4:00 pm.

**2. Roll call**

Present: Chairperson Manager Houseman, Commissioners Ciccarelli, Shull and Kessenich. Council Representative Schultz arrived at 4:02. Also present: Clerk/Treasurer/Finance Director, City Attorney, Deputy Clerk and Director of Neighborhood and Building Services.

**3. New Business**

*a. Review and possible action relating to the **minutes of the February 10, 2026, Plan Commission meeting** (Ebbert, Clerk/Treasurer/Finance Director)*

Ciccarelli motioned to change the minutes to reflect that the extension of Commonwealth streets and sidewalks as permitted. Shull seconded. Motioned carried.

Ciccarelli moved, seconded by Shull to approve the amended minutes of the February 10, 2026 Plan Commission meeting. Motion carried.

*b. **Public Hearing:** Conditional Use Permit relating to occupancy by a construction company, including indoor business activities and ancillary equipment storage at the property located at 525 Jefferson St. (CUP-2026-02) (Draeger, Director of Neighborhood and Building Services)*

Director Draeger presented the Site Plan as required by section 15.10.32 of the City of Fort Atkinson Zoning Ordinance which outlines the requirements for the Conditional Use application and procedure. The subject property provides increased flexibility and opportunity for long-term operational growth while supporting the retention of established local businesses. While the precise number of required parking spaces has not been fully determined as part of this analysis, a commonly used benchmark for a business of this type is approximately one parking space per employee. Based on that general metric, the existing parking area located on the west side of the property, if paved and properly striped, would be capable of accommodating approximately 30 or more parking spaces. This supply would significantly exceed the current number of employees (approximately 10) and would also accommodate the applicant's projected future

workforce of approximately 20 employees.

The Conditional Use Permit (CUP) will facilitate additional vehicle and truck traffic to and from the site as part of the expanded operations. While the applicant is proposing limited improvements, including paving one ADA-compliant handicap stall, painting the exterior of the building, and installing landscaping, additional site improvements are necessary to bring the broader property into greater compliance with City standards. These improvements include paving the existing gravel parking area, installing concrete aprons, and constructing sidewalk improvements at both west parking lot approaches to the site. Sidewalk installation is also required along Clarence and Lorman Streets.

The proposed paving will increase the amount of impervious surface on the site, which requires additional landscaping under City regulations. In the opinion of City staff, the landscaping plan proposed by the applicant satisfies these requirements and provides an appropriate level of site enhancement.

City staff recommend that the sidewalk requirement along Jefferson Street be deferred at this time. Jefferson Street is anticipated to be reconstructed in the future, and sidewalk installation could be completed more efficiently as part of that coordinated public project. Future reconstruction of Jefferson Street will likely impact a portion of the existing parking area on the east side of the property, as several of those spaces currently extend into the public right-of-way. When that reconstruction occurs, those spaces will likely be reduced. The additional parking capacity available on the west side of the property will help offset this future loss and ensure that adequate on-site parking remains available.

City staff have discussed these site improvement requirements with the applicant, and the applicant has acknowledged the need to complete them. Given the scope of the required improvements, particularly the sidewalk installations, consideration should be given to allowing an extended timeline of up to one (1) year for completion. This approach would reduce the immediate financial burden while still ensuring the improvements are completed within a reasonable and defined timeframe.

The proposed development appears capable of meeting applicable City ordinances and is generally consistent with adopted City plans. The proposal supports reinvestment in an existing building and the continued operation and expansion of established local businesses, subject to compliance with the identified site and infrastructure improvements. The CUP process requires a public hearing and action at a separate meeting. However, after thorough review, City staff has prepared the following list of conditions for Plan Commission consideration at this meeting and on March 24th, when the matter returns to the Plan Commission for action:

- 1) Those conditions as listed in Section 15.10.32(9) (CUP procedure) shall apply to all Conditional Uses.
- 2) The Conditional Use permit only applies to permitting a Vehicle Service and Repair land

use on the subject property for the applicant and their associated business. If any other Conditional Use in the UMU zoning district were to be requested in the future by the applicant or a different entity on the subject property, it shall require the completion of a full new Conditional Use process (Section 15.10.32).

3) The Vehicle Service and Repair land use shall be limited to only indoor activities (Section 15.03.10(20)) as proposed by the applicant. If any outdoor activities are requested in the future, an updated Site Plan shall be required to be provided to the Plan Commission for review and approval in accordance with all applicable zoning standards (Section 15.03.10(20)(a)-(c)).

4) Outdoor activity shall be limited to only those permitted by right land uses within the UMU zoning district, including, but not limited to, Outdoor Display (Section 15.03.10(4)) and Incidental Outdoor Storage (15.03.28(17)). All applicable land use requirements associated with any outdoor activity shall be met and maintained in compliance with all the requirements of the City of Fort Atkinson Municipal Code.

5) Require all parking areas be paved with a hard surface per City Standard (15.06.06(19)).

6. Require a parking/stripping plan be submitted and approved by City Staff, which meets City ordinances.

7) Require all approaches be constructed of 6" of concrete per City Standard (15.06.06(19)).

8) Require the installation of a public sidewalk along Clarence and Lorman streets within one year of final approval of this CUP.

9) Require bicycle parking when Jefferson Street is reconstructed by the City.

10) The applicant must obtain all required permits prior to construction.

11) Any other recommendations of City staff and the Plan Commission.

Public hearing opened at 4:09 pm.

Applicant, Mike Foerster of A+ Environmental, proclaimed his excitement about the project and stated he would comply with the conditions of the staff report.

Public hearing closed at 4:12 pm.

- c. ***Public Hearing:*** regarding a Zoning Map Amendment to change the zoning district for the property located on Mehta Lane (parcels 226-0614-3231-000 and 226-0614-3242-001) from Suburban Mixed Use (SMU) to Multi-Family Residential-12 (MRM-12) (ZMA-2026-01) (Draeger, Director of Neighborhood and Building Services)

Director Draeger presented the zoning map amendment as required by section 15.10.31 of the City of Fort Atkinson Zoning Ordinance. The applicant has worked with City staff to develop the proposed project. The proposed Zoning Map Amendment aims to provide an additional housing development opportunity on the subject properties. This location comprises a mix of different land uses that includes multi-family development directly to the east. However, the amendment still continues to maintain the character and appropriate scale of development within the surrounding neighborhood. Overall, the proposed Zoning Map Amendment meets the requirements of the City's ordinances, is in alignment with adopted City plans, and will provide additional tax base and housing units

when the project is complete. The parcels are located within a Tax Incrementation District (#9). City staff recommends that the Plan Commission recommend the City Council approve the Zoning Map Amendment from SMU to MRM-12 for the subject parcels.

Note that the following land use applications are expected for this project, which will require future Plan Commission and/or City Council review and approval:

- A certified survey map combining the two parcels into one to gain right-of-way accessibility conformance with the Zoning Ordinance.
- A conditional use permit for a group development.
- Site, landscape, stormwater, and building material review through the Site Plan Review process.

Public Hearing opened at 4:15 pm.

After three calls and no comments, the public hearing was closed at 4:16 pm.

- d. **Public Hearing:** relating to a request for a General Development Plan for the property located at 23 N. Water St. E. and the westerly adjacent vacant lot (parcels 226-0514-0322-008 and 226-0514-0322-009), to change the zoning from Downtown Historic Mixed Use (DHMU) to Downtown Historic Mixed Use with a Planned Unit Development Overlay to allow for removal of a vacant building and development of a 15-stall parking lot at the site (PUD-2025-03) (Draeger, Director of Neighborhood and Building Services)
- Director Draeger presented the General Development Plan (GDP) which is the first step (zoning) in the Planned Unit Development (PUD) approval process. The second step (Specific Implementation Plan), which will include a CSM to combine the lots, will come before the Plan Commission for consideration at a later date.

The applicant is proposing to demolish the existing building on the eastern parcel and combine the two parcels into a single lot to develop a 15-stall off-site parking lot. This new parking lot would provide additional spaces for bank staff and customers, helping meet parking needs as part of the bank's ongoing development. Currently, Premier Bank has an agreement with the adjacent Bienfang's Bar property for staff parking. However, this arrangement may not continue in the future, as the parking area is privately owned and access is not guaranteed long-term. In response, the proposed parking lot will serve as a replacement for the current parking spaces, ensuring long-term, dedicated parking for the bank. To assess the need for parking, the applicant conducted a parking study for the immediate area, which concluded that the proposed lot would help reduce peak parking occupancy in surrounding public parking areas in the downtown area.

City staff recommends approval of the General Development Plan, with the following conditions:

1. A recommendation to the City Council that the General Development Plan for parcels 226-0514-0322-008 and 226-0514-0322-009 be approved, subject to any and all requirements identified by the Plan Commission.
2. All other applicable standards and requirements of the underlying DHMU zoning district

shall continue to be in effect within this established PUD overlay, outside of those flexibilities noted below in item 3.

3. Nine proposed flexibilities from the DHMU zoning district standards:
  - a. Proposed flexibility to allow a permitted by-right principal land use of Off-Site Parking Lots in the DHMU zoning district is granted as proposed in the GDP submittal.
  - b. Proposed flexibility to allow a minimum pavement setback along the street, side, and rear property lines of 0 feet in the DHMU zoning district is granted as proposed in the GDP submittal.
  - c. Proposed flexibility to allow the maximum number of access points to be exceeded up to two on a parcel less than 200 feet in width is granted as proposed in the GDP submittal.
  - d. Proposed flexibility to allow the minimum number of bicycle and pedestrian connections to be less than one is granted as proposed in the GDP submittal.
  - e. Proposed flexibility to allow the minimum vision triangle standards to be less than 10 feet of visual clearance between the driveways and the public right-of-way is granted as proposed in the GDP submittal.
  - f. Proposed flexibility to allow the minimum green space areas for parking lots to be 0 feet along all property lines and between adjacent, neighboring property surface parking lots is granted as proposed in the GDP submittal.
  - g. Proposed flexibility to allow the minimum permitted throat length to be 4 feet is granted as proposed in the GDP submittal.
  - h. Proposed flexibility to allow the minimum aisle width for two-way traffic flow to be 6 feet on along the western property line is granted as proposed in the GDP submittal.
  - i. Proposed flexibility to allow the maximum footcandles at the property line to be exceeded up a maximum as defined within the SIP approval step.
4. Review and approval of a CSM providing cross-access easements with neighboring properties to the West and North and provide a utility easement to the City for replacement of an existing sanitary line, prior to approval of the Specific Implementation Plan.
5. The applicant is required to improve private storm sewer upgrades needed on the parcel and in the surrounding areas in coordination with City staff and adjoining property owners.
6. Any other recommendations of City staff or the Plan Commission.

The public hearing was opened at 4:20 pm. After three calls and no comments, the public hearing was closed at 4:21 pm.

- e. **Public Hearing:** relating to amendments to various sections of the Zoning Ordinance, Chapter 15 of the City of Fort Atkinson Code of General Ordinances, relating to the review and approval of Signs (ZTA-2026-01) (Draeger, Director of Neighborhood and Building Services)

Director Draeger stated that City staff have prepared the attached summary of proposed Zoning Text Amendments focused on Article IX: Signage. The proposed amendments would shift review and approval of Permanent Business Signs and Optional Miscellaneous Signs from the Plan Commission to administrative staff review, while retaining the existing

Plan Commission review and approval process for Electronic Message Signs and signage located within the Downtown Historic Mixed Use (DHMU) zoning district.

The proposed changes are based on the recognition that Plan Commission review of many sign types is an additional step, which may delay a property or business owner's sign project. Prior to Plan Commission consideration, staff has already worked with applicants to ensure full compliance with ordinance standards. As a result, Plan Commission review typically does not add new conditions or information once the ordinance requirements are met. In addition, the 2015 U.S. Supreme Court decision in *Reed v. Gilbert* requires sign regulations to be content neutral, limiting review to objective factors such as location, materials, and configuration. When a sign meets these standards, the Plan Commission has no authority to further regulate its design or content. The City intends to retain additional oversight where warranted. The DHMU zoning district is a highly sensitive area, and Electronic Message Signs have the potential to create external impacts on surrounding properties. Accordingly, the proposed amendments preserve the current Plan Commission review process for these sign types.

The primary policy change associated with the amendments is the shift of sign permit review and approval authority from the Plan Commission to City staff for most sign types, while retaining Plan Commission review for signage within the DHMU zoning district and for Electronic Message Signs. The City's Management Team has reviewed the proposed amendments, and all comments have been incorporated.

The public hearing opened at 4:23 pm and closed at 4:24 pm after three calls and no comments.

- f. *Review and discussion relating to the requested **Conditional Use Permit** on the property located at 525 Jefferson Street (CUP-2026-02) (Draeger, Director of Neighborhood and Building Services)*

Ciccarelli questioned if the evergreen trees in the aerial photos are part of the parcel and landscaping plan. Director Draeger believes that the trees are part of the parcel, but not counted in the current land count.

Ciccarelli further inquired about how the City would ensure that the sidewalks would be constructed at a later date. Director Draeger indicated that this would be captured within permits, letters to businesses, and other future processes.

Ciccarelli suggested when Jefferson Street is reconstructed, the City should reconsider the street parking. Director Draeger stated that parking would be addressed during the Jefferson Street reconstruction, as some of the spaces are currently in the right-of-way.

Schultz stated that if the design plan were to remove bike storage, he would be amenable since there are bike racks across the street.

No action was taken.

- g. *Review and possible recommendation to the City Council regarding a **Zoning Map Amendment** to change the zoning district for the property located on Mehta Lane (parcels 226-0614-3231-000 and 226-0614-3242-001) from Suburban Mixed Use (SMU) to Multi-Family Residential-12 (MRM-12) (ZMA-2026-01) (Draeger, Director of Neighborhood and Building Services)*

Schultz inquired about the difference between MRM-12 and SMU regarding this project. Director Draeger indicated that the biggest difference between the two is that SMU allows for commercial use, whereas MRM-12 does not. Since there is no commercial aspect to this project, the zoning amendment is being requested.

Ciccarelli questioned the possibility of making a public street in advance. Manager Houseman responded that the requirement of a new street for the development could prevent the development from taking place.

Kessenich moved to approve, and Schultz seconded to approve the recommendation to the City Council for the Zoning Map Amendment from SMU to MRM-12 for the subject parcels. Motion carried.

- h. *Review and possible recommendation to the City Council relating to a request for a **General Development Plan** for the property located at 23 N. Water St. E. and the westerly adjacent vacant lot (parcels 226-0514-0322-008 and 226-0514-0322-009), to change the zoning from Downtown Historic Mixed Use (DHMU) to Downtown Historic Mixed Use with a Planned Unit Development Overlay (PUD-2025-03) (Draeger, Director of Neighborhood and Building Services)*

Kessenich commented that she was pleased to see the mature trees on the parcels would remain and additional landscaping would be completed. She inquired about testing soil health and drainage improvement plans for the property. Director Draeger responded that he would make a note to include that in the comprehensive plan for the site.

Kessenich inquired about the availability of parking within the lot for downtown businesses. Director Draeger responded that the primary use would be for the Bank during daytime hours. Although a private lot, the parking spaces would be available for use as long as it doesn't overlap with business hours. However, the lot would remain private, and terms could change in the future.

Ciccarelli moved, seconded by Shultz to recommend to the City Council the General Development Plan for the property located at 23 N. Water St. E. and the westerly adjacent vacant lot (parcels 226-0514-0322-008 and 226-0514-0322-009), to change the zoning from Downtown Historic Mixed Use (DHMU) to Downtown Historic Mixed Use with a Planned Unit Development Overlay to allow for removal of a vacant building and development of a 15-stall parking lot at the site (PUD-2025-03). Motion carried.

- i. *Review and possible recommendation to the City Council relating to **amendments to various sections of the Zoning Ordinance, Chapter 15 of the City of Fort Atkinson Code of General Ordinances**, relating to the review and approval of Signs (ZTA-2026-01) (Draeger,*

*Director of Neighborhood and Building Services)*

Cicarelli suggested that the Planning Commission receive summary reports for the signage approved by staff. Manager Houseman agreed, and staff will implement signage reporting for the Commission.

Kessenich thinks that the projected signs option is great for the historic downtown buildings.

Shultz motioned, seconded by Shull, to recommend the City Council approve the amendments to various sections of the Zoning Ordinance, Chapter 15 of the City of Fort Atkinson Code of General Ordinances, relating to the review and approval of Signs (ZTA-2026-01). Motion carries.

*j. Review and possible recommendation to the City Council relating to a **Certified Survey Map** for the property located at 1310 Campus Dr. (CSM-2026-03) (Draeger, Director of Neighborhood and Building Services)*

Director Draeger provided that the property owner Tip of the Spear LLC has requested approval of a two-lot Certified Survey Map (CSM) for the parcel located at 1310 Campus Drive. The purpose of the CSM is to divide the existing 5.39-acre property into two separate developable lots. Proposed Lot 1 will have frontage along Campus Drive and Hawthorne Drive and will contain approximately 3.587 acres. Proposed Lot 2 will have frontage along Banker Road and will contain approximately 1.7995 acres. The property owner has submitted a request to divide the existing parcel located at 1310 Campus Drive into two separate parcels through a Certified Survey Map (CSM). The property is currently governed by an approved Planned Unit Development (PUD), including a General Development Plan (GDP) and Specific Implementation Plan (SIP), which were approved by the Plan Commission and City Council in 2023.

Under the PUD framework, the GDP establishes the general zoning and development parameters for the site, while the SIP provides the detailed site design and implementation elements. While these approvals do not have a formal expiration date, modifications to the approved plans may require amendments depending on the nature and scale of the proposed changes. The proposed land division would modify the existing lot configuration and reduce the total acreage associated with the approved development area from approximately 5.39 acres to 3.58 acres. Changes of this nature may affect several components of the previously approved development, including stormwater management, overall site density, and the ratios of building coverage and impervious surface area.

Due to the potential magnitude of these impacts, the proposed land division is considered a substantial change to the previously approved PUD plans. As a result, an amendment to the Specific Implementation Plan (SIP) will be required to evaluate how the revised parcel configuration affects the approved development layout and associated infrastructure. In addition, if the proposed lot division results in development ratios that exceed those permitted under the underlying Multi-Family Residential–30 (MRH-30) zoning district, an

amendment to the General Development Plan (GDP) may also be required.

Because the GDP functions similarly to a zoning map amendment within the PUD framework, any amendment to the GDP would require review and recommendation by the Plan Commission and final consideration by the City Council. Overall, the proposed CSM meets the requirements of the City's Land Division and Development Ordinance and the Dimensional Standards of the City's Zoning Ordinance. The CSM would also create an additional parcel that would be developable into additional residential units.

Ciccarelli recommended to make a pedestrian path in the future.

Ciccarelli motioned, seconded by Kessenich to recommend the City Council approve this preliminary Certified Survey Map, subject to the following conditions:

- Adjust the final CSM to reflect City Council President Kyle Jaeckel under the City of Fort Atkinson Approval Certificate.
- Remove access easements from the Final CSM; noted as 7 and 8 in the Easement Notes of the submitted CSM.

Motion carried

- k. *Information relating to the Habitat for Humanity Critical Repair Program (Houseman, City Manager)*

No action was taken.

- l. *Update on previously approved projects (Houseman, City Manager)*

Ciccarelli asked about the South Main Street project and moving utilities. Manager Houseman responded that yes, as part of the project, there are several minor utility updates, road rehabilitation, and path.

Manager Houseman informed Commission members that the Willow Ridge project will not move forward as proposed, as the project developer did not have control over the property, and it was sold to someone else.

No action was taken.

#### **4. Adjournment**

Kessenich moved, seconded by Schultz to adjourn. Meeting adjourned at 5:09 p.m.

Respectfully submitted,  
Courtney Thom  
Deputy Clerk

## CONDITIONAL USE PERMIT REPORT TO THE PLAN COMMISSION

**DATE:** March 24, 2026  
**PROPERTY ADDRESSES:** 525 Jefferson St.  
**PARCEL NUMBER:** 226-0614-3433-017  
**OWNER:** Fort Land Company, LLC

**APPLICANT:** Mike Foerster

**FILE NUMBER:** CUP-2026-01  
**EXISTING ZONING:** UMU, Urban Mixed Use  
**PROPOSED ZONING:** UMU, Urban Mixed Use  
**EXISTING LAND USE:** Former Warehouse/Office (Uncle Josh's/Acme Bait)  
**REQUESTED USES:** Office, Indoor Sales or Service, Indoor Maintenance, Incidental Light Industrial, Incidental Outdoor Storage, and Vehicle Service and Repair

### BACKGROUND

Section 15.10.32 of the City of Fort Atkinson Zoning Ordinance outlines the requirements for the Conditional Use application and procedure. This requires the Site Plan as referenced above and a public hearing before the Plan Commission. The public hearing was conducted at the Plan Commission meeting on March 10, 2026.

### REQUEST OVERVIEW

The applicant is seeking to reuse the existing building located at 525 Jefferson Street to house contractor businesses for A+ Environmental (basement waterproofing) and Home Backup Systems (emergency generator sales/installation). The property was formerly used in a similar manner when it was home to Uncle Josh's Bait and Acme Bait.



This is a mixed-use area of Fort Atkinson including residential homes to the south, Ralph Park to the east, and industrial uses to the north and west. The parcel is 1.8 acres in area and contains an existing 34,000 square foot building, access to both Clarence Street and Jefferson Street, and gravel areas to the east and west of the building. The southern portion of the parcel is

undeveloped, and it is not proposed to change as part of the building reuse.

According to the applicant's narrative, the proposed project includes mainly interior building upgrades, along with repainting the exterior of the building, new plantings, new overhead doors on the southwest side of the structure, and new pavement added for handicap accessible parking stalls. There will be 10-15 employees on-site that typically will leave in the morning for the job site and return in the afternoon. The proposed use is not expected to generate significant noise, odor, or large vehicle traffic. Loading and unloading will occur via the two existing loading docks on the northeast corner of the building, and the majority of equipment (skid steers, back-hoes, dump trucks) will stay at a given job site. Outdoor storage is not proposed, and any incidental outdoor storage is expected to be temporary in nature.

Within the Zoning Ordinance, each land use has a defined set of requirements and criteria that must be met prior to granting approval. Additionally, Vehicle Service and Repair land uses require a Conditional Use Permit in the UMU zoning district. This memo reviews the proposed development with respect to the Site Plan requirements, Conditional Use findings, and all land use-specific requirements of the City's Zoning Ordinance.

#### **SITE PLAN REVIEW:**

There are no proposed changes to the existing structure or site that need to conform to the zoning district's dimensional standards. All requirements are met.

The proposed land use for the property includes: Office, Indoor Sales or Service, Indoor Maintenance, Incidental Light Industrial, Incidental Outdoor Storage, and Vehicle Service and Repair.

- The Office land use requires:
  1. Minimum on-site parking of 1 space per 400 sf = **unknown** (3,000 sf of office = 7 spaces required)
- The Indoor Sales or Service land use requires:
  1. Minimum on-site parking of 1 space per 400 sf = **unknown** (unknown sf of sales = unknown spaces required)
- The Indoor Maintenance Service land use requires:
  1. Minimum on-site parking of 1 space per 400 sf = **unknown** (4,000 sf of maintenance space = 10 spaces required)
- The Vehicle Service and Repair land use requires:
  1. Bufferyard of 0.6 along all borders of display area abutting residential = met (none proposed)
  2. Signs, screening, enclosures, landscaping, or materials displayed may not interfere with traffic visibility, circulation, or access = met (none proposed)
  3. Outdoor storage of unlicensed or inoperable vehicles is prohibited outside of areas fully screened with a solid fence = met (none proposed)

4. Minimum on-site parking of 1 space per 400 sf = **unknown** (unknown sf of vehicle service and repair space = unknown spaces required)
- The Incidental Light Industrial land use requires:
    1. Total area devoted to said uses shall not exceed 15% of the total building area up to 5,000 sf = **unknown** (unknown sf of light industrial = unknown if requirement is met)
  - The Incidental Outdoor Storage land use requires:
    1. All storage areas are fully screened from view at a minimum height of 8' = No outdoor storage areas are proposed.
    2. The storage area shall not exceed 500 sf = No outdoor storage areas are proposed.

The applicant has submitted elements of the Site Plan Review that are included within the attachment. Below is a review of the various other zoning standards that are required for the proposed development:

**Access and Visibility Standards (Section 15.06.03, 15.06.04, and 15.06.05)**

- Multiple access points from one street can be approved through the Site Plan process on lots greater than 200 feet long = N/A (no proposed change)
- No access is permitted within 50 feet of an intersection = N/A (no proposed change)
- Maximum driveway size is 24 feet wide = N/A (no proposed change)
- At least one ped/bicycle access point to at least one street frontage is required = N/A (no proposed change)
- All structures must be located outside of vision triangles at the right-of-way intersections = N/A (no proposed change)

**Parking and Loading Standards (Section 15.06.06 and 15.06.07)**

- All access points, drive isles, driveways, and parking areas must be constructed of a hard surface = **not met**
- All site ingress and egress are to be 6" concrete per City standards = **Not met**
- Public Sidewalk installed along all street frontages = **Not Met**
- All parking stalls must provide pavement markings = **unknown**
- Throat depth (distance between street access and traffic circulation area/parking area) must be a minimum of 25 feet = N/A (no proposed change)
- Minimum parking stall dimensions are required to be 9 feet wide and 18 feet long = **unknown**
- Minimum parking isles are required to be 24 feet wide = **unknown**
- Minimum and maximum off-street parking stalls = **unknown**

- A minimum of 4 on-site bicycle stalls are required = **not met**
- Minimum loading area must be at least 10 feet wide and 25 feet long = met

#### **Exterior Lighting Standards (Section 15.06.20)**

- At the property line, a maximum of 1.0 footcandle is required = N/A (no proposed change)
- The average lighting on-site is required to be a maximum average of 3.0 footcandles = N/A (no proposed change)
- The maximum height of all freestanding light fixtures is 30 feet = N/A (no proposed change)
- All exterior lighting elements must be shielded and downward-facing = N/A (no proposed change)

#### **Outdoor Storage and Screening Standards (Section 15.06.21)**

- All trash containment structures are required to be enclosed, a maximum of 6 feet in height, and made of solid wood with an access gate = Met - (Wood Enclosure on concrete)
- All building mechanicals on the exterior of the building are required to be screened = N/A (no proposed change)
- Outdoor storage areas must be screened = N/A (no proposed outdoor storage areas proposed)

#### **Landscaping Standards (Section 15.08.30)**

No new landscaping is required because there are no proposed exterior changes to the property that would impact street frontage, paved surface areas, building foundations, or building footprints. However, additional paved surfaces will require additional landscaping. The applicant has indicated within the submitted materials that additional plantings are proposed along the north side of the property. **1,238 Landscaping points are proposed.**

#### **Fence Standards (Section 15.06.40)**

If any outdoor storage areas are proposed, those areas shall be required to be screened from view utilizing fencing that's solid (opaque) and a minimum of 8' tall = N/A (No outdoor storage areas are proposed.)

#### **Exterior Building Design Standards (Section 15.07.40)**

The applicant has indicated that the exterior of the structure will be repainted, but no additional information beyond that has been provided = N/A (No exterior building upgrades are

proposed beyond painting.)

### **CONDITIONAL USE FINDINGS**

In reviewing and taking final action on a proposed conditional use permit, the Plan Commission shall consider whether the proposed conditional use (staff review of each finding is underlined):

- Is in harmony with the Comprehensive Plan. This condition may be met. The proposed use is consistent with past property uses, the existing building format, and other uses in the area. However, the property is shown as Planned Mixed Use on the Future Land Use Map. This designation includes a mix of commercial and residential uses.
- Would result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare. This condition may be met. The applicant has indicated that there will be minimal exterior impacts to neighboring properties from the proposed use. However, the condition of the site could be significantly improved from where it is today.
- Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property. This condition may be met. This area contains a mix of uses, including residential, industrial, and institutional. The proposed use aligns with the building's past uses and configuration, but does not reflect the City's desired future plan for this site (Planned Mixed Use) as indicated within the Comprehensive Plan.
- The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public or private agencies serving the subject property. Staff believes this condition is met. The existing site is currently served by utilities and infrastructure. No upgrades or changes are required.
- The potential public benefits outweigh any potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts. This condition may be met. The proposed use is consistent with past property uses, the existing building format, and other uses in the area. It may not pose a significant change to the area with the proposed use, but the on-site property conditions could be significantly improved from where they are today.

The Plan Commission may impose conditions on any conditional use permit related to the physical development and operation, vehicles and equipment of the use, roadway impacts, or other conditions as necessary. See the recommendations section below for proposed additional conditions.

### **PUBLIC NOTICE:**

A Public Hearing was adequately noticed per state statute and a Public Hearing was held on March 10, 2026, with no public comments.

**COMPREHENSIVE LAND USE PLAN (2019):**

The subject parcel lies within the North Railway District Planning Area (see Attachments) and is identified as Mixed Use within the Plan. The opportunities indicated on the Plan include business growth through infill industrial sites and job-focused redevelopment.

The subject property is also shown as Planned Mixed Use on the Future Land Use Map. This designation includes a mix of commercial and residential uses. Staff believes the proposal could be viewed as being concert with the Comprehensive Plan.

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**DISCUSSION**

The proposed land uses and operations are generally consistent with the property’s historic uses. The building and site were originally developed to accommodate commercial and industrial-type businesses, and the current proposal aligns with that established pattern. The applicant represents long-standing Fort Atkinson businesses that have outgrown their current locations and are seeking to remain and expand within the community. The subject property provides increased flexibility and opportunity for long-term operational growth while supporting the retention of established local businesses.

While the precise number of required parking spaces has not been fully determined as part of this analysis, a commonly used benchmark for a business of this type is approximately one parking space per employee. Based on that general metric, the existing parking area located on the west side of the property, if paved and properly striped, would be capable of accommodating approximately 30 or more parking spaces. This supply would significantly exceed the current number of employees (approximately 10) and would also accommodate the applicant’s projected future workforce of approximately 20 employees.

The Conditional Use Permit (CUP) will facilitate additional vehicle and truck traffic to and from the site as part of the expanded operations. While the applicant is proposing limited improvements, including paving one ADA-compliant handicap stall, painting the exterior of the building, and installing landscaping, additional site improvements are necessary to bring the broader property into greater compliance with City standards. These improvements include paving the existing gravel parking area, installing concrete aprons, and constructing sidewalk improvements at both west parking lot approaches to the site. Sidewalk installation is also required along Clarence and Lorman Streets.

The proposed paving will increase the amount of impervious surface on the site, which requires additional landscaping under City regulations. In the opinion of City staff, the landscaping plan proposed by the applicant satisfies these requirements and provides an appropriate level of site

enhancement.

City staff recommend that the sidewalk requirement along Jefferson Street be deferred at this time. Jefferson Street is anticipated to be reconstructed in the future, and sidewalk installation could be completed more efficiently as part of that coordinated public project.

Future reconstruction of Jefferson Street will likely impact a portion of the existing parking area on the east side of the property, as several of those spaces currently extend into the public right-of-way. When that reconstruction occurs, those spaces will likely be reduced. The additional parking capacity available on the west side of the property will help offset this future loss and ensure that adequate on-site parking remains available.

City staff have discussed these site improvement requirements with the applicant, and the applicant has acknowledged the need to complete them.

Given the scope of the required improvements, particularly the sidewalk installations, consideration should be given to allowing an extended timeline of up to one (1) year for completion. This approach would reduce the immediate financial burden while still ensuring the improvements are completed within a reasonable and defined timeframe.

It is also important to recognize that the City has placed significant emphasis on revitalizing this area through public investment, planning, and allocation of resources. While the proposed project includes modest building and site improvements, the project represents reinvestment in an existing commercial property and supports continued business activity in the area. The additional required enhancements beyond what is proposed by the applicant will further advance the City's long-term vision for the corridor.

Staff acknowledges that several uncertainties identified in the Overview, particularly related to final parking counts, site circulation, and the extent of required infrastructure improvements remain at this stage of review. However, staff finds that these unknowns are appropriately addressed through the recommended conditions and required site improvements associated with the project. The paving and striping of the west parking area provides a clear path to achieving minimum parking needs, while required sidewalk installations, access improvements, and landscaping enhancements ensure compliance with City standards. Additionally, the ability to defer certain improvements, such as along Jefferson Street, and allow an extended timeline for completion provides flexibility. Collectively, these recommendations establish a framework that mitigates current uncertainties and ensures the site can function effectively and in conformance with the City's zoning ordinance as the project moves forward.

Finally, Wisconsin State Statutes (2017 Wisconsin Act 67) limit a municipality's ability to regulate improvements beyond those required by the zoning ordinance through the Conditional Use process. Under state law, denial of a Conditional Use Permit must be supported by substantial evidence demonstrating that the proposal does not meet ordinance standards.

In summary, the proposed development appears capable of meeting applicable City ordinances and is generally consistent with adopted City plans. The proposal supports reinvestment in an existing building and the continued operation and expansion of established local businesses, subject to compliance with the identified site and infrastructure improvements.

The City's Management Team has reviewed the application and all comments have been included within this document.

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## **RECOMMENDATION**

Staff recommends the Plan Commission approve the Conditional Use Permit with the following conditions:

- 1) Those conditions as listed in Section 15.10.32(9) (CUP procedure) shall apply to all Conditional Uses.
- 2) The Conditional Use permit only applies to permitting a Vehicle Service and Repair land use on the subject property for the applicant and their associated business. If any other Conditional Use in the UMU zoning district were to be requested in the future by the applicant or a different entity on the subject property, it shall require the completion of a full new Conditional Use process (Section 15.10.32).
- 3) The Vehicle Service and Repair land use shall be limited to only indoor activities (Section 15.03.10(20)) as proposed by the applicant. If any outdoor activities are requested in the future, an updated Site Plan shall be required to be provided to the Plan Commission for review and approval in accordance with all applicable zoning standards (Section 15.03.10(20)(a)-(c)).
- 4) Outdoor activity shall be limited to only those permitted by right land uses within the UMU zoning district, including, but not limited to, Outdoor Display (Section 15.03.10(4)) and Incidental Outdoor Storage (15.03.28(17)). All applicable land use requirements associated with any outdoor activity shall be met and maintained in compliance with all the requirements of the City of Fort Atkinson Municipal Code.
- 5) Require all parking areas be paved with a hard surface per City Standard (15.06.06(19)).
6. Require a parking/stripping plan be submitted and approved by City Staff, which meets City ordinances.
- 7) Require all approaches be constructed of 6" of concrete per City Standard (15.06.06(19)).
- 8) Require the installation of a public sidewalk along Clarence and Lorman streets within one year of final approval of this CUP.
- 9) Require bicycle parking when Jefferson Street is reconstructed by the City.
- 10) The applicant must obtain all required permits prior to construction.
- 11) Minor changes to this CUP can be approved administratively, but any substantial change to the conditions or use of the property must be approved by the Plan Commission through amending this CUP.
- 12) Any other recommendations of City staff and the Plan Commission.

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**ATTACHMENTS**

1. Application Materials\_Redacted
2. updated Site Plan-3-4-2026
3. North Railway District Map
4. Future Land Use Map 1



## City of Fort Atkinson Procedural Checklist for Conditional Use Permits Requirements per Section 15.10.32

This form is designed to be used by the Applicant as a guide to submitting a complete application for a conditional use and by the City to process the application.

Name, company, and client (if applicable): Bt Properties LLC & Matea Group LLC

Phone number [REDACTED] Email: feerstermiller@gmail.com

Property address for proposed conditional use: 525 Jefferson St

Brief description of proposed conditional use: Use building for housing construction equipment and generator installs. Also for off. use for each business

### I Application Packet Requirements

The Applicant shall submit one electronic copy of the application.

- A map of the subject property to scale depicting:
  - All lands for which the conditional use is proposed and all other lands within 100 feet of the boundaries of the subject property.
  - Current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control.
  - All lot dimensions of the subject property.
  - A graphic scale and a north arrow.
- Written description of the proposed conditional use including the type of activities, buildings, structures, and off-street parking proposed for the subject property and their general locations, as well as the number of employees and the hours of operation.
- A site plan of the subject property if proposed for development conforming to all requirements of Section 15.10.42 of the Fort Atkinson Zoning Code. If the proposed conditional use is a group or large development (per Section 15.06.02), a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required per Section 15.10.42.
- Written justification for the proposed conditional use, including evidence that the application is consistent with the Comprehensive Plan and meets any additional standards required in the applicable zoning district. See Section 15.10.32(8) for review criteria.
- Written descriptions of anticipated daily traffic, types and weights of vehicles, and any provisions, intersection or road improvements or other measures proposed to accommodate increased traffic. A Traffic Impact Analysis (TIA) meeting Wisconsin Department of Transportation requirements for content and format may be required by the City if deemed necessary by the City Engineer.
- A listing of hazardous, toxic, or explosive materials stored on site, and any spill containment, safety, or pollution prevention measures taken.



To apply for a conditional use to operate a Community Living Arrangement (See Section 15.03.6(13) of the Fort Atkinson Zoning Code), the following additional application materials are required. To note, a Community Living Arrangement Occupancy Permit is also required prior to the start of operation. See the Fort Atkinson Zoning Code Section 15.10.33 for details.

- Provide to the City Clerk a copy of the Adult Care license issued by the Wisconsin Department of Health Services or Certificate provided from funder when such License/Certificate is granted. Applicant also agrees to notify the City if operations at this address cease.
- File a scope of business outline with the City Clerk of which shall identify the following:
  - The legally registered name of the owner or operator of the facility, the address, telephone number, and the type of license number of any state or federal license required to operate the community living arrangement facility, and the date when operation of the facility is anticipated to commence;
  - Total number of residents;
  - Scope of clients to be served (i.e. Advanced Age, Developmentally Disabled, Physically Disabled, Emotionally Disturbed/Mental Illness, Irreversible Dementia/Alzheimer's, Traumatic Brain Injury, etc.);
  - Expected staffing to serve these residents;
  - Hours of operation;
  - Facility floor plan;
  - Safety Plan and Emergency Procedures;
  - Continuation of Operations plan for patients in the event that the home is unable to continue operations, for any reason;
  - A Crisis Relocation Plan for residents that are in crisis, including any MCO options for crisis beds or other alternatives, if any exist at the time of application.
- Meet with City Police and Fire Departments to review the scope of business.

## II Criteria Used to Evaluate the Proposed Conditional Use

The Zoning Administrator, City Engineer, and Department Heads shall review the complete application and evaluate whether the proposed conditional use:

1. Is in harmony with the recommendations of the Comprehensive Plan.
2. Would result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare.
3. Maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property.
4. The conditional use is located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.
5. The potential public benefits outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.



City of Fort Atkinson  
City Manager's Office  
101 N. Main Street  
Fort Atkinson, WI 53538

**III Process Checklist**

- Staff-Applicant meeting (if applicable) Date: ✓
- Application fee of \$250 received by City Treasurer Date: ✓
- Reimbursement of professional consultant costs agreement executed. Date: ✓
- Receipt of complete application packet by Zoning Administrator Date: \_\_\_\_\_
- City Staff input Date: \_\_\_\_\_
- Class 2 legal notice sent to official newspaper by City Clerk Date: \_\_\_\_\_
- Class 2 legal notice published on \_\_\_\_\_ Date: \_\_\_\_\_
- Notification of neighboring property owners within 100 feet of the petition Date: \_\_\_\_\_
- Notification of clerks of municipalities within 1,000 feet of the petition Date: \_\_\_\_\_
- Notification of airports within 1 mile of the petition Date: \_\_\_\_\_
- Plan Commission Public Hearing, review and recommendation Date: \_\_\_\_\_
- City Council review and action Date: \_\_\_\_\_

Dated this 7 day of January, 20 26

Respectfully submitted,

  
\_\_\_\_\_  
(Signature of Applicant)

525 Jefferson Street // A+ Environmental Inc. // Home Backup Systems

January 5, 2026

Conditional Use Permit Application

January 2, 2026

Applicant:

A+ Environmental, Inc.  
Mike Foerster, Owner

[REDACTED]  
[REDACTED]

Property Address for Conditional Use:

525 Jefferson St.

(Former Uncle Josh mfg.)

Project Description:

Former factory / warehouse / office operations building. New ownership proposes to use building in similar fashion. The proposed primary uses will house A+ Environmental (basement waterproofing, primarily), and Home Backup Systems (emergency generator sales / installation). There will be warehousing, vehicle parking and storage in the building (minor maintenance, but not a maintenance shop), and office operations. Proposed factory operations are a future thought -- casting concrete bases for the generator systems Home Backup Systems installs.

Proposed alterations to the building are minimal. Repairing fire separation walls within the building, and adding some overhead doors to the exterior. General aesthetic remodel to the office area.

Comprehensive Plan / UMU Zoning:

These proposed businesses to be located in this former factory building will not generate industrial noise, odors, etc. Very little large truck traffic. Most of the coming-and-going of business operations is on the scale of panel vans and trailers, with employees vehicles as

well. Smaller excavation equipment (skid steers, mini back-hoes, dump trucks.) are part of the waterproofing business. Any semi traffic / loading will happen at the existing two loading docks on the northeast corner of the building.

**Building / Site Aesthetic Upgrades:**

The building will be painted (Sherwin Williams earth-tone palette), a tall screen of evergreens will be added along the north side, pavement will be added to allow for handicap accessible parking. General landscaping will be upgraded, and upkept.

**Traffic:**

Day to day traffic will be up to 10-15 employees. Work vans and trucks generally are out on project sites for the day – not in and out throughout the day. Equipment such as skid steers and backhoes generally stays at project sites, and is moved from one site to another.

**Hazardous / toxic materials:**

None beyond general jerry cans for fuel, oil etc.

(end)



City of Fort Atkinson  
City Manager's Office  
101 N. Main Street  
Fort Atkinson, WI 53538

**CITY OF FORT ATKINSON  
COST RECOVERY AGREEMENT**

The City of Fort Atkinson may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and/or other experts) to assist in the City's review of a development proposal that may be scheduled for review and action by the Plan Commission and/or City Council. The submittal of a development proposal or land use application by an Applicant shall be construed as an agreement to pay for such professional services applicable to the proposal or application. The City may apply reasonable charges for these services to the Applicant through invoices. The City may delay acceptance of the proposal or application as complete, or may delay final approval of the proposal, until the Applicant pays such fees. In the event invoices become delinquent, finance charges will accrue at 1% per month, 30 days after the due date. Review fees invoiced to the Applicant, which are not paid in a timely manner, may be assigned by the City as a special assessment to the subject property. The Applicant hereby waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. The City will provide notice to the applicant of the need to hire a professional consultant.

The Applicant is required to provide the City with an executed copy of this Cost Recovery Agreement as part of the land use application process. Applications are not considered complete and will not be considered by the Plan Commission without this executed Agreement.

\*Application fees are non-refundable. Fees cover the costs associated with mailing public notices, postage, copies and staff review. Applicants must agree to pay all additional expenses the City may incur on their behalf for contracted services (attorney, planner, engineer and required studies).

Applicant Name: Matea Group, LLC  
Project Address: 525 Jefferson St.

Project Name: 525 Jefferson St. Project  
Parcel Number: 226-0614-3433-017

Dated this 17 day of December, 2025

Agreement signed and entered into by:

The City of Fort Atkinson

\_\_\_\_\_  
City Manager

**Property Owner Information:**

**Applicant Information (if different):**

Owner Name: Fort Land Co, LLC

Applicant Name: \_\_\_\_\_

Owner Signature: KURT KELLER  
DocuSigned by:  
06323263977F41D...

Applicant Signature: \_\_\_\_\_

Address: 525 Jefferson St.

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Phone Number: [REDACTED]

Email Address: newco2020@gmail.com

Email Address: [REDACTED]

# 525 Jefferson Street

525 Jefferson Street  
Fort Atkinson, WI 53538

### DRAWING INDEX:

- SP-1 SITE AERIAL PHOTO, DRAWING INDEX, H.C. PARKING DETAILS
- A-1 MAIN FLOOR PLAN (PROPOSED)
- A-2 FLOOR PLAN FOR BRACON
- A-3 EXTERIOR PHOTOS
- A-4 EXTERIOR PHOTOS
- A-5 3 HOUR FIRE BARRIER WALL INFLU. DETAIL, ADA DET. ALL 5
- AB-1 MAIN FLOOR PLAN (AS-BUILT)
- DM-1 MAIN FL. OVERHEAD LIGHTING PLAN

### PROJECT DESCRIPTION:

EXISTING MIXED-USE FACTORY/WAREHOUSE/ OFFICE BUILDING IS CHANGING OWNERSHIP AND BUSINESS OPERATIONS. NEW OWNER WILL USE THE BUILDING WITH THE SAME OCCUPANCY GROUPS, THOUGH THERE IS A USE CHANGE WITHIN THE GROUP S-1 OCCUPANCY. SEE 'CODE NOTICE' TAB 5 SHEET.

PREVIOUS OWNERSHIP HAD BEEN A MANUFACTURER OFFERING EQUIPMENT, AND NEW OWNERSHIP HAS MULTIPLE BUSINESSES -- PRIMARILY BACKUP WATERPROOFING AND EMERGENCY BACK-UP GENERATORS.

### PROPOSED ALTERATIONS:

- 1) REPAIR EXISTING FIRE BARRIER WALLS THAT HAVE OPENINGS 1' @ #101111 BY PREVIOUS OWNERSHIP. REPAIR / REPLACE FIRE DOORS AS NECESSARY.
- 2) ADD OVERHEAD DOORS (AL)
- 3) ADD A WALKDOOR THROUGH A 3-HOUR FIRE BARRIER WALL FOR OFFICE ACCESS.
- 4) UPGRADE TWO RESTROOMS TO ADA COMPLIANCE.

### CODE NOTES:

SOME OF THE EXISTING GROUP S-1 OCCUPANCY AREA IS PROPOSED TO BE USED FOR VEHICLE STORAGE / SERVICE. NO COMMERCIAL MOTOR VEHICLES (GVW 26,500 LBS). BOTH OF THE VEHICLE AREAS ARE SEPARATED BY 3-HOUR FIRE BARRIER WALLS, AND THE SPACE THAT WILL BE USED FOR VEHICLE STORAGE IS A FLEA AREA - 45,000 S.F.

### BUILDING INFORMATION:

CONSTRUCTION TYPE:	TYPE 1B
BUILDING FOOTPRINT:	± 33,666 S.F.
ALTERED AREA:	± 1,005 S.F.
	+ ADD OV. HEAD DOORS
NO. OF FLOORS:	1
OCCUPANCY GROUP:	S-215-1 / F-218
SPRINKLERED:	NO
FIRE ALARM:	YES
BUILDING CODE:	IRC 2021
RISK CATEGORY:	TABLE 604.5

### SITE INFORMATION:

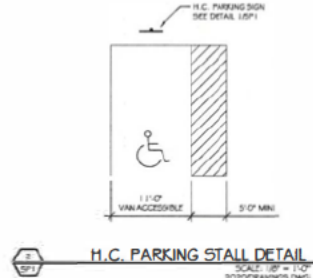
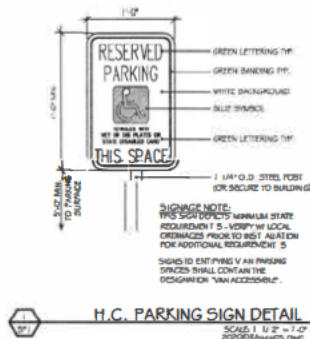
SITE AREA:	± 62,396 S.F. (1.43 ACRES)
FOOTPRINT AREA:	± 33,666 S.F. (40.3%)
GRAVEL PARKING AREA:	± 10,293 S.F. (12.3%)
PAVED PARKING & SIDEWALK AREA:	± 2,841 S.F. (3.4%)
GREEN SPACE AREA:	± 33,596 S.F. (43.2%)

IEBC LEVEL II ALTERATION AT MAIN FLOOR ONLY.

VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.

ALL DRAWINGS ARE  
1/2" SCALE SHOWN

PRELIMINARY NOT  
FOR CONSTRUCTION



SITE AERIAL PHOTO - FROM JEFFERSON COUNTY G.I.S. WEBSITE  
SCALE: 1" = 400'  
2020 DRAWING DATE:

**Design Alliance Architects, Inc.**  
1003 Madison Avenue  
Fort Atkinson, WI  
(608) 883-3464

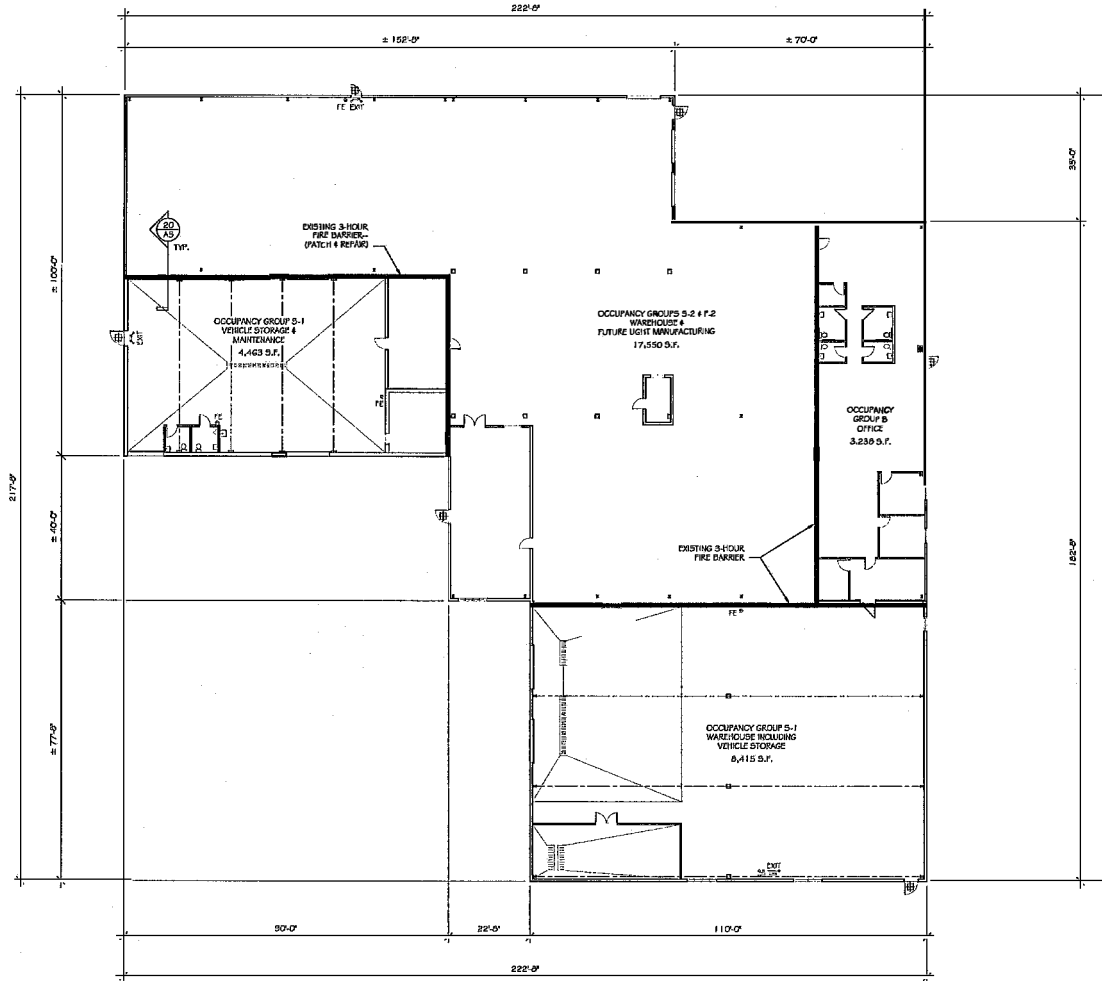
525 JEFFERSON STREET  
525 Jefferson Street  
Fort Atkinson, WI 53538

DRAWING NAMES
SITE AERIAL PHOTO DRAWING INDEX H.C. PARKING DETAILS
REVISIONS
PROJECT DATA
DATE: 1/25/2025 DRAWN BY: J.K. CHECKED BY: P.W.
SHEET NO.
SP-1



VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.

ALL DRAWINGS ARE  
1/2 SCALE SHOWN  
  
PRELIMINARY NOT  
FOR CONSTRUCTION



20  
A2 FIRE SEPARATION DIAGRAM  
SCALE: 1/16" = 1'-0"  
2024DRAWING2.DWG  
DATE:

**eDesign**  
Alliance Architects, Inc.  
1003 Madison Avenue  
Fort Atkinson, WI  
(919) 882-3024

525 JEFFERSON STREET  
525 Jefferson Street  
Fort Atkinson, WI 53538

DRAWING NAMES  
FIRE SEPARATION DIAGRAM

REVISIONS

PROJECT DATA

DATE: 12/12/2025  
DRAWN BY: J.K.  
CHECKED BY: P.W.  
SHEET NO.

A-2

VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.

ALL DRAWINGS ARE  
1/2 SCALE SHOWN

PRELIMINARY NOT  
FOR CONSTRUCTION



10 EXTERIOR PHOTO - EAST FACADE  
SCALE: 1/2"  
2020DRAWINGS.DWG DATE:



11 EXTERIOR PHOTO - WEST FACADE  
SCALE: 1/2"  
2020DRAWINGS.DWG DATE:

**Design Alliance Architects, Inc.**  
1003 Madison Avenue  
Fort Atkinson, WI  
(608) 563-3104

525 JEFFERSON STREET  
525 Jefferson Street  
Fort Atkinson, WI 53538

DRAWING NAMES  
EXTERIOR PHOTOS

REVISIONS

PROJECT DATA

DATE: 12/12/2025  
DRAWN BY: J.K.  
CHECKED BY: P.W.

SHEET NO.

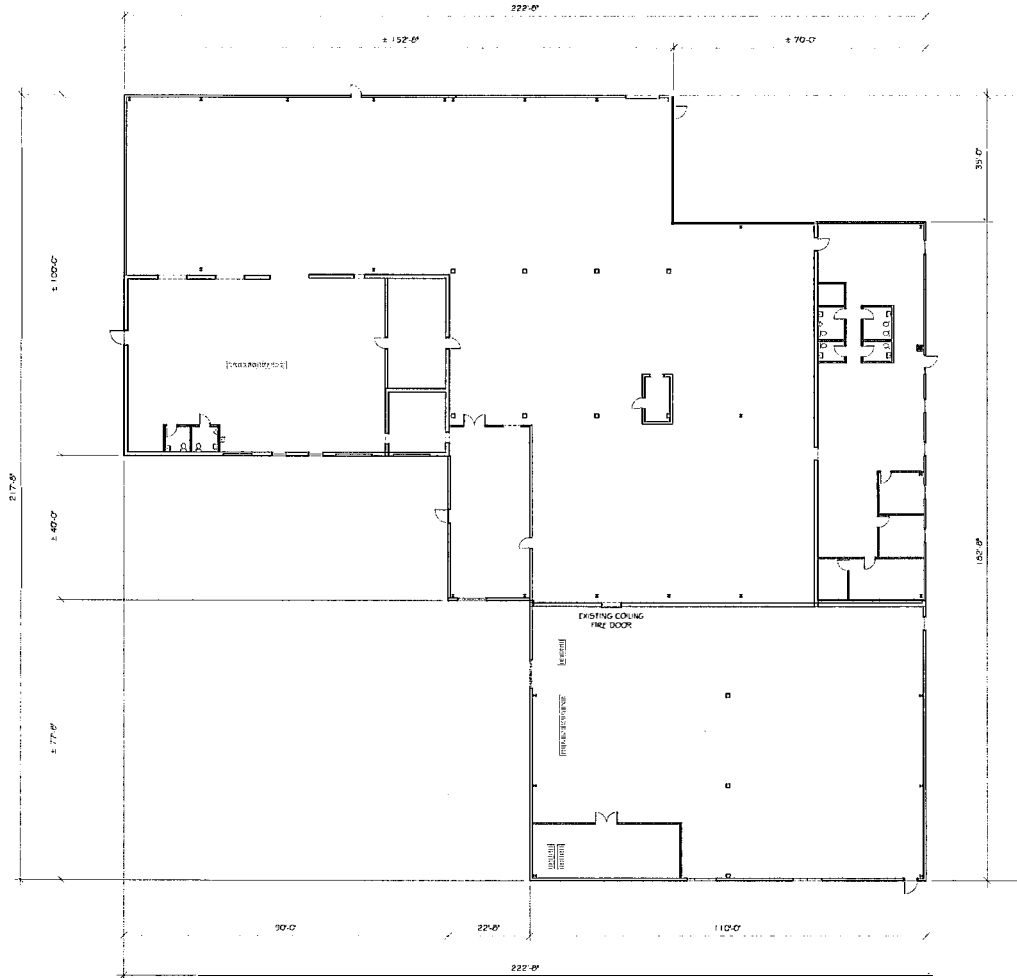
A-3





VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.

ALL DRAWINGS ARE  
1/2 SCALE SHOWN  
  
PRELIMINARY NOT  
FOR CONSTRUCTION



20  
AD1

MAIN FLOOR PLAN (AS-BUILT)

SCALE: 1/16" = 1'-0"  
2020 DRAWINGS.DWG  
DATE:



 Design Alliance Architects, Inc. 1033 Madison Avenue Fort Atkinson, WI (920) 382-3404
525 JEFFERSON STREET 525 Jefferson Street Fort Atkinson, WI 53538
DRAWING NAMES
MAIN FLOOR PLAN (AS-BUILT)
REVISIONS
PROJECT DATA
DATE: 12/12/2025
DRAWN BY: J.K.
CHECKED BY: P.W.
SHEET NO.
AB-1

# 525 Jefferson Street

525 Jefferson Street  
Fort Atkinson, WI 53538

## DRAWING INDEX:

SP-1	SITE PLAN, DRAWING INDEX, H.C. PARKING DETAILS, LANDSCAPE SCHEDULE
SP-2	DUMPSTER ENCLOSURE PLAN & DETAILS
A-1	MAIN FLOOR PLAN (REMODEL)
A-2	EXTERIOR PHOTOS
A-3	EXTERIOR PHOTOS
D-1	MAIN FLOOR PLAN (DEMO)
AB-1	MAIN FLOOR PLAN (AS-BUILT)

## PROJECT DESCRIPTION:

EXISTING MIXED-USE FACTORY / WAREHOUSE / OFFICE BUILDING IS CHANGING OWNERSHIP AND BUSINESS OPERATIONS. NEW OWNER WILL USE THE BUILDING WITH THE SAME OCCUPANCY GROUPS, THOUGH THERE IS A USE CHANGE WITHIN THE GROUP S-1 OCCUPANCY. SEE "CODE NOTES" THIS SHEET.

PREVIOUS OWNERSHIP HAD BEEN A MANUFACTURER OF FISHING EQUIPMENT, AND NEW OWNERSHIP HAS MULTIPLE BUSINESSES -- PRIMARILY BASEMENT WATERPROOFING AND EMERGENCY BACK-UP GENERATORS.

## PROPOSED ALTERATIONS:

- 1) REPAIR EXISTING FIRE BARRIER WALLS THAT HAVE HAD OPENINGS LET INTO THEM BY PREVIOUS OWNERSHIP.
- REPAIR / REPLACE FIRE DOORS AS NECESSARY.
- 2) ADD OVERHEAD DOORS (4).
- 3) ADD A MAN-DOOR THROUGH A 3-HOUR FIRE BARRIER WALL FOR OFFICE ACCESS.
- 4) UPGRADE TWO RESTROOMS TO ADA COMPLIANCE.
- 5) ADA COMPLIANCE ENTRY AT EMPLOYEE ENTRANCE (REAR), RETROFIT LEVER DOOR HANDLES THROUGH TO OFFICE AND RESTROOM AREA.

## CODE NOTES

SOME OF THE EXISTING GROUP S-1 OCCUPANCY AREA IS PROPOSED TO BE USED FOR VEHICLE STORAGE / SERVICE. NO COMMERCIAL MOTOR VEHICLES (GVW 26,500 LBS). BOTH OF THE VEHICLE AREAS ARE SEPARATED BY 3-HOUR FIRE BARRIER WALLS, AND THE SPACE THAT WILL BE USED FOR VEHICLE SERVICE IS A FIRE AREA <5,000 S.F.

## BUILDING INFORMATION:

CONSTRUCTION TYPE:	TYPE IIB
BUILDING FOOTPRINT:	33,821 S.F.
ALTERED AREA:	± 100 S.F. + ADD OVERHEAD DOORS
NO. OF FLOORS:	1
OCCUPANCY GROUP:	S-2 / S-1 / F-2 / B
SPRINKLERED:	NO
FIRE ALARM:	YES (MANUAL PULL STATIONS)
BUILDING CODE:	IBC 2021
RISK CATEGORY:	TABLE 1604.5 II

## SITE INFORMATION:

ZONING:	UMU - URBAN MIXED USE
SITE AREA:	± 81,330 S.F. (1.82 ACRES)
BUILDING FOOTPRINT:	± 33,820 S.F. (41.6%)
NEW PAVED PARKING AREA:	1,496 S.F. (1.8%)
EXG PAVED PARKING & SIDEWALK AREA:	± 2,625 S.F. (3.2%)
EXG PAVED GRAVEL AREA:	± 9,180 S.F. (11.3%)
GREEN SPACE AREA:	± 34,209 S.F. (42.1%)

## IEBC LEVEL II ALTERATION.

VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.

## PLANTING SCHEDULE

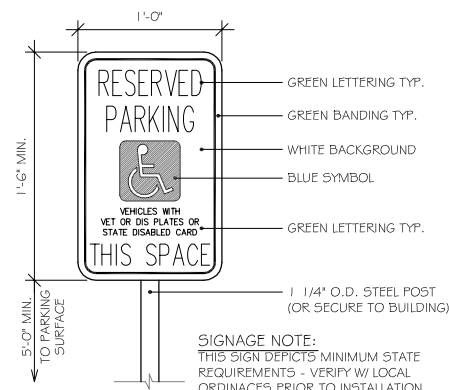
TYPE	DESCRIPTION	PLANTING SIZE	MATURE SIZE	QUANTITY	POINTS	TOTAL POINTS
A	EXISTING TREES TO REMAIN					
B	PAPERBACK MAPLE	2' CAL	20' DIA	2	15	30
C	TAXUS 'TAUNTON'	18-24"H	4' DIA	4	5	20
D	ARBOR VITAE 'PYRAMIDAL'	3-4"H	6' DIA	36	33	1,188

## LANDSCAPE REQUIREMENTS FOR URBAN MIXED USE:

PAVEMENT: 40 PTS PER 10,000 S.F. OR 10 PARKING STALLS:  
 1,280 S.F. / 10,000 S.F. = 0.13 x 40 PTS = 5.2 POINTS  
 1 TREE AT 15 PTS = 15 POINTS  
 4 SHRUBS AT 5 PTS = 20 POINTS  
 TOTAL 35 POINTS

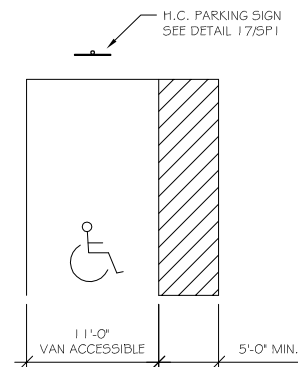
## LANDSCAPE SCHEDULE

SCALE: N.T.S.  
2025/A+ UNCLE JOSH BUILDING/FB-DRAWINGS.DWG  
DATE: DECEMBER 22, 2025



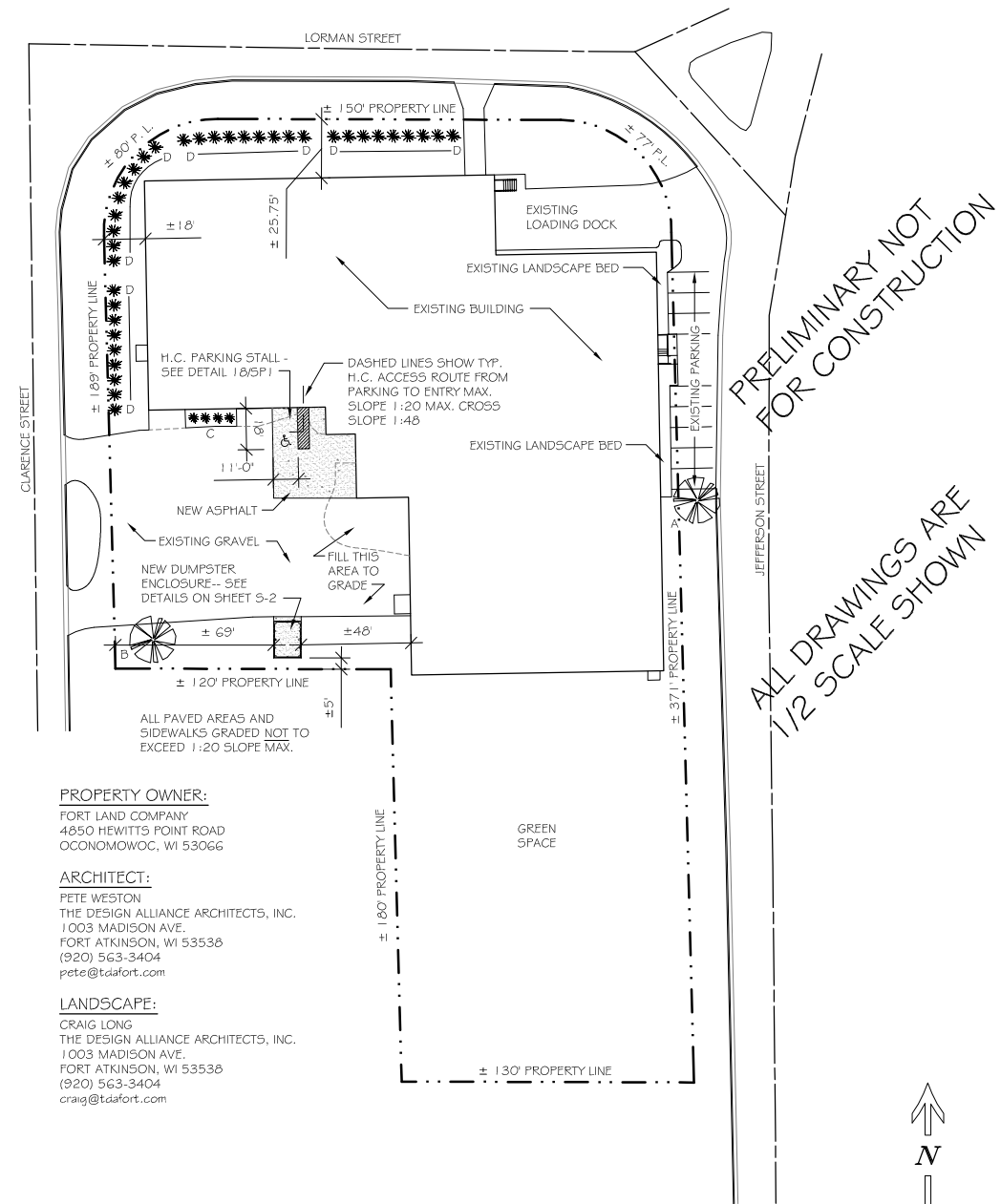
## H.C. PARKING SIGN DETAIL

SCALE: 1 1/2" = 1'-0"  
2025/A+ UNCLE JOSH BUILDING/FB-DRAWINGS.DWG  
DATE: DECEMBER 22, 2025



## H.C. PARKING STALL DETAIL

SCALE: 1/8" = 1'-0"  
2025/A+ UNCLE JOSH BUILDING/FB-DRAWINGS.DWG  
DATE: DECEMBER 22, 2025



## SITE / LANDSCAPE PLAN

SCALE: 1" = 40'-0"  
2025/A+ UNCLE JOSH BUILDING/FB-DRAWINGS.DWG  
DATE: DECEMBER 22, 2025

525 JEFFERSON STREET  
525 Jefferson Street  
Fort Atkinson, WI 53538

## DRAWING NAMES

SITE / LANDSCAPE PLAN  
DRAWING INDEX  
H.C. PARKING DETAILS  
LANDSCAPE SCHEDULE

## REVISIONS

## PROJECT DATA

DATE: 3/4/2026  
DRAWN BY: J.K.  
CHECKED BY: P.W.

## SHEET NO.

SP-1



# NORTH RAILWAY DISTRICT PLANNING AREA

FIGURE: 2.14

CITY OF FORT ATKINSON  
FUTURES OPEN HOUSE



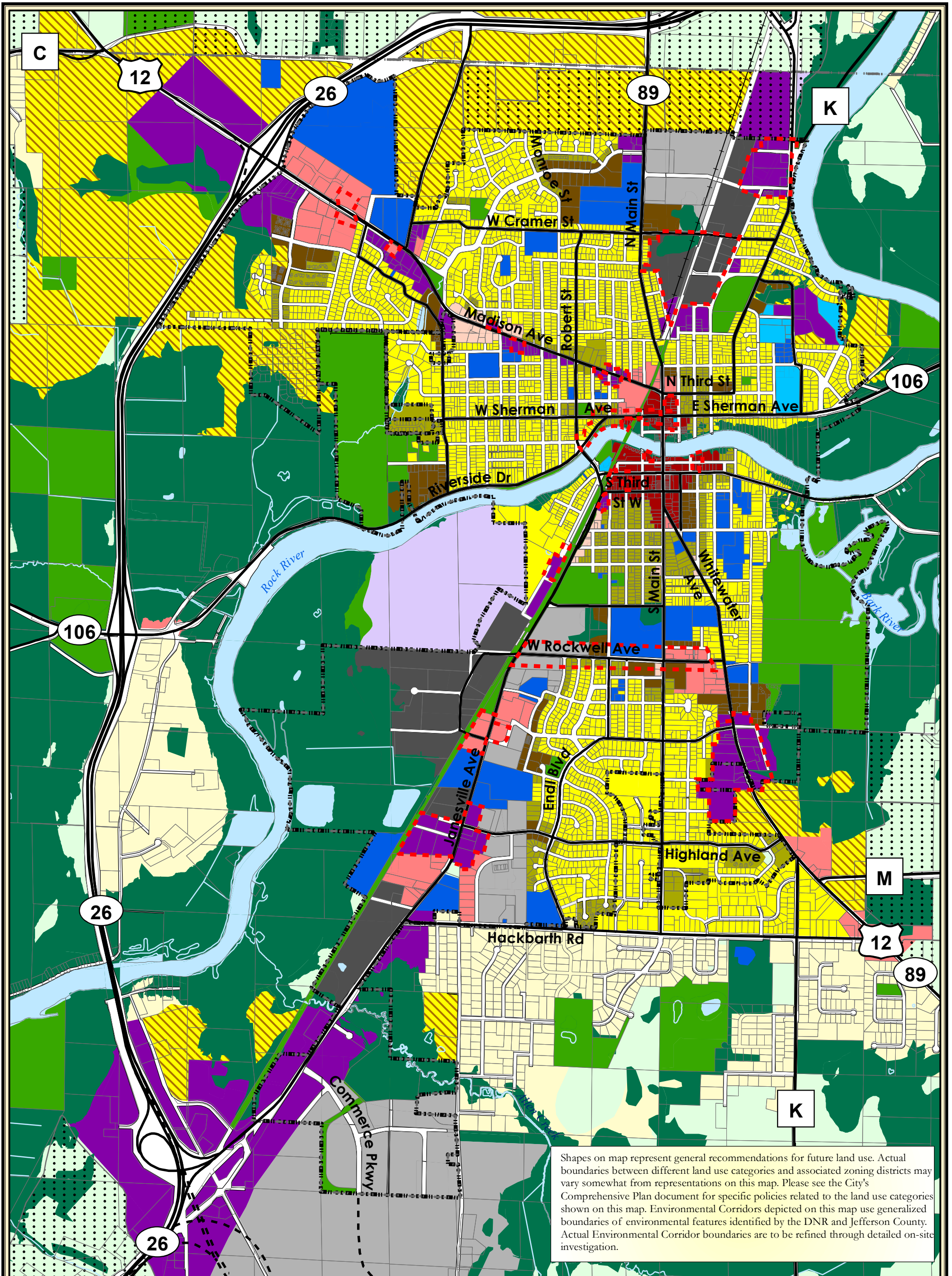
## Opportunities

- "Live-work" focus
- Business growth - infill industrial sites
- Job-focused redevelopment in areas closer to park & downtown
- Employment focused redevelopment (e.g. K-Mart site)
- Superior natural entryway experience

## Conceptual Land Uses

- Community Commercial
- Downtown
- Major Institutions
- Mixed-Use
- Neighborhood
- Employment
- Environmental Corridors
- Agriculture
- Existing Major Roads
- Potential Future Roads
- Main Trails (existing & planned)

Note: This map is just a Detailed Future Land Use Map or Future Transportation Map for zoning and other decision making. The purpose of this map is to show conceptual future growth options and facilitate public discussion.



Shapes on map represent general recommendations for future land use. Actual boundaries between different land use categories and associated zoning districts may vary somewhat from representations on this map. Please see the City's Comprehensive Plan document for specific policies related to the land use categories shown on this map. Environmental Corridors depicted on this map use generalized boundaries of environmental features identified by the DNR and Jefferson County. Actual Environmental Corridor boundaries are to be refined through detailed on-site investigation.

**City of Fort Atkinson  
Comprehensive Plan**

**Map 7: Future Land Use - City View**

- City Boundaries
- Town Boundaries
- Parcels
- Right of Way
- Major Roads
- Previously Proposed Hwy 12 Bypass

- AG - Agriculture/Rural
- P - Parks
- EC - Environmental Corridor
- SF-U - Single Family Residential - Urban
- SF-E - Single Family Residential - Exurban
- TF - Two Family/Townhouse Residential
- MR - Manufactured Residential
- MF-R - Multi-Family Residential

- PN - Planned Neighborhood
- NC - Neighborhood Commerical
- CC - Community Commerical
- DT - Downtown
- LI - Light Industrial/Business Park
- GI - General Industrial
- CF - Community Facilities
- HF - Health Facilities
- PMU - Planned Mixed Use

- F-H - Farm-Historic
- UGA - Long Range Urban Growth Area
- Future Redevelopment Opportunity Area
- Surface Water

Sources: Jefferson County - County Land Use; Vandewalle and Associates - Fort Atkinson Land Use

0 0.125 0.25 0.5 0.75 Miles

**VANDEWALLE & ASSOCIATES INC.** 3/19/19  
Amended: 6/6/23  
*Shaping places, shaping change*



## CONCEPT PLAN REVIEW REPORT TO THE PLAN COMMISSION

<b>DATE:</b> March 24, 2026	<b>FILE NUMBER:</b> Concept Plan only
<b>PROPERTY ADDRESS:</b> 550 McMillen St.	<b>EXISTING ZONING:</b> Institutional (I)
<b>PARCEL NUMBER:</b> 226-0614-3443-018, 226-0614-3434-045	<b>PROPOSED ZONING:</b> Multi-Residential-30 (MRH-30)
<b>OWNER:</b> Fort Healthcare	<b>EXISTING LAND USE:</b> Vacant
<b>APPLICANT:</b> Premier Real Estate Management LLC	<b>REQUESTED USES:</b> Multi-Family Housing

---

### BACKGROUND

This request is for Plan Commission review of a Group Development Concept Plan. While this review is not a formal requirement of the Zoning Map Amendment, Group Development, or Certified Survey Map (CSM) processes, it is commonly offered as a courtesy to applicants to obtain early, constructive feedback from the Plan Commission during the planning and design phase of a proposed project.

Section 15.06.02 of the City of Fort Atkinson Zoning Ordinance provides the purpose and intent of Group and Large Development Standards. The purpose of this Section is to establish standards that ensure group developments and large developments are properly located and are compatible with the surrounding area and the overall community character of the City. A Group Development approval process follows the same approvals as Section 15.10.32 Conditional Use Permit Procedures.

Section 15.10.31 of the City of Fort Atkinson Zoning Ordinance provides the purpose and intent of Zoning Map Amendments. The purpose of this Section is to provide regulations which govern the procedure and requirements for the review and approval, or denial, of proposed amendments to provisions of the Official Zoning Map (rezonings).

Section 70.01.04 of the City of Fort Atkinson Land Division and Development Ordinances provides the purpose and intent of Certified Survey Map review. The purpose of the Ordinance is to regulate and control all land divisions and condominiums within the City of Fort Atkinson's geographic jurisdictional limits in order to promote and protect public health, safety, prosperity, aesthetics, and general welfare of the community. The regulations are intended to encourage the most appropriate use of land, to provide the best possible environment for human habitation, and to conserve the value of buildings placed upon the land.

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### REQUEST OVERVIEW

Premier Real Estate Management, LLC, is proposing a Group Development that will require a Zoning Map Amendment, Certified Survey Map review and a Conditional Use Permit due to the presence of multiple principal structures. City staff and the applicant are presenting the Plan Commission with a conceptual development proposal located on McMillen St. and at the end of Schumacher Way, Parcel # 226-0614-3443-018

The parcel is currently zoned Institutional (I), which does not permit standalone multifamily residential buildings without a Community Living Arrangement or Institutional component. As such, a zoning map amendment would be required for this project. The applicant is proposing rezoning the property to Multi-Residential-30 (MRH-30), which allows up to 50 dwelling units per acre and is consistent with the proposed project density. The adjacent properties are zoned Institutional and Single Family Residential -5.

**PUBLIC NOTICE:**

No public notice is required for the review of a Concept Plan. Public notice will be required for additional steps in the process.

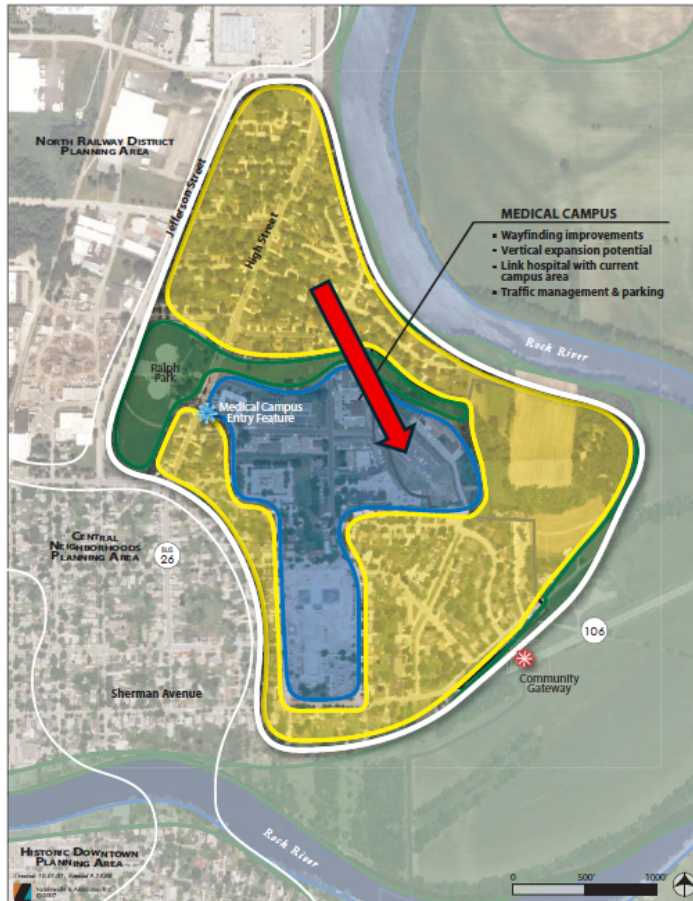
**COMPREHENSIVE LAND USE PLAN (2019):**

The subject parcels are located within the Healthcare Center Planning Area. The Healthcare Center Planning Areas Figure: 2.15 does not reflect the amendments to the Comprehensive Plan which include Planned Mixed use in this area. As a note on Figure 2.15, the Planning Area map is not intended for zoning or other decision-making.

# HEALTHCARE CENTER PLANNING AREA

FIGURE: 2.15

CITY OF FORT ATKINSON  
FUTURES OPEN HOUSE



The two parcels are also shown on the Comprehensive Plans Future Land Use Map as Planned Mixed Use, which allows for a mixture of commercial and residential uses. Staff believes the proposal is in concert with the Comprehensive Plan.

## DISCUSSION

The City has an identified need for additional housing, and the proposed conceptual plan for multifamily development would contribute additional dwelling units within the City. Future development of this parcel would be consistent with and complementary to ongoing development patterns in the surrounding area. Including the recent renovation to the Fort Healthcare Facility, which moved most care options back to the existing main campus. The move created several redevelopment opportunities in the area.

A Group Development permits multiple principal structures on a site while requiring compliance with all applicable density, intensity, and bulk regulations. This type of development

is reviewed through the Conditional Use Permit process and allows for multiple buildings on a single site. The proposed project would consist of up to four 24-unit residential buildings. Each unit would include one or two bedrooms, one or two bathrooms, underground and surface parking, with unit sizes ranging from approximately 780 to 1,164 square feet. The development would also include office space and a centralized mail pickup area.

The project would generate limited employment opportunities within the City, including one full-time property management position and up to two part-time positions for maintenance and housekeeping. The applicant has experience constructing similar developments in other communities, including the City of Reedsburg and the City of Portage. The building design incorporates an underground parking garage, which provides covered parking while minimizing additional impervious surface area that would otherwise be created by detached garage structures or garage banks.

Overall, City staff find that the proposed concept is compatible with the character and pattern of surrounding development, would contribute additional high-quality housing options to the City’s inventory, and would generate modest employment opportunities. Furthermore, the presence of adjacent properties zoned Institutional (I), which permit residential uses and currently accommodate multifamily senior housing developments, reinforces the appropriateness of the proposed use within this area.

Note that, due to the preliminary nature of this concept plan, City staff has not vetted this project relating to emergency access, utilities, traffic, or other items. A thorough review will be conducted during the next phases of the project.

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**RECOMMENDATION**

Plan Commission takes no action on the Concept Proposal stage. Formal action is taken during the CUP, ZMA, and CSM review and approval processes. City Staff support this proposal as a concept plan and recommends that the Plan Commission provide feedback to staff and the applicant for incorporation into the next phases of the project.

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**ATTACHMENTS**

1. Zoning and Conceptual Site Plan Packet 1\_Redacted



# Conceptual Site Plan

## City of Fort Atkinson Procedural Checklist for Site Plans Requirements per Section 15.10.42

This form is designed to be used by the Applicant as a guide to submitting a complete application for a site plan and by the City to process the application.

Name, company, and client (if applicable): Riverpoint Commons - PRE 3  
Emily McFarland

Phone number: [REDACTED] Email: [REDACTED]

Property address for site plan: 550 MCMILLEN STREET

Engineer - Brad Treml [REDACTED]

### I Applicability

Site plan review and approval shall be required for changes to site characteristics (listed in Section 15.10.42).

### II Application Requirements

The Applicant shall submit an electronic copy or paper copies, if required by the City, of the application. Applications for site plans shall contain all of the following, unless specific application requirements are waived in writing by the Zoning Administrator.

- Written description of the intended use describing in reasonable detail the following:
  - Existing zoning district(s) and proposed zoning district(s), if different.
  - Existing and proposed land uses.
  - Projected number of residents, employees, and/or daily customers.
  - Proposed number of dwelling units and density.
  - Demonstration of compliance with the applicable standards and requirements of the City of Fort Atkinson Municipal Code.
  - Demonstration of consistency with the Comprehensive Plan.
  - Fencing materials (Section 15.06.40).
  - Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.
- A small location map showing the subject property and illustrating its relationship to the nearest street intersection.
- Pre-Development Site Information.
  - Legal description of the subject property.
  - Existing property lines and setback lines.
  - Existing structures and paved areas.
  - Existing right of way lines with bearings and dimensions clearly labeled.
  - Existing easements and utilities.

- Existing and proposed topography with a maximum contour interval of 2 feet, except where existing ground is on a slope of less than 2 percent where one foot contours shall be shown.
- The outer edges of all natural resource areas (i.e. floodplains, shorelands, wetlands, drainageways, woodlands, steep slopes).
- Proposed Post-Development Site Information.
  - Property lines and setback lines.
  - Location of all proposed structures and use areas, including paved areas, building entrances, walks, drives, decks, patios, fences, utility poles, and drainage facilities.
  - Proposed right of way lines with bearings and dimensions clearly labeled.
  - Proposed access points onto public streets and access drives on the subject property.
  - Location and dimension of all on-site parking (and off-site provisions if they are to be employed), including a summary of the number of parking stalls provided.
  - Location of all proposed parking and traffic circulation areas.
  - Location and configuration of all visibility triangles proposed on the subject property.
  - Location and dimension of all loading and service areas on the subject property.
  - Location of all outdoor storage areas and the design of all screening devices.
  - Location of all rooftop, wall-mounted, and ground-mounted mechanical equipment, and the design of all screening devices.
  - Location and type of all stormwater facilities and management approach to be employed and a copy of the proposed maintenance agreement.
  - Location of snow storage areas, except for single family and two family residential.
  - Proposed easement lines and dimensions with a key provided and explanation of ownership and purpose. Easement documents governing public access or cross access should be provided for review.
  - Location and size of all gas, electric, water, storm and sanitary utilities serving the parcel.
  - Location, type, height, size, and lighting of all signage on the subject property.
  - In the legend, include the following data for the subject property: lot area, flood area, floor area ratio, impervious surface area, impervious surface ratio, and building heights.
- Detailed Landscaping Plan. If required, a landscape plan depicting the location, type, and size at time of planting and maturity of all landscaping features as required in Article VIII.
- Grading and Erosion Control Plan. Scaled drawing depicting existing and proposed grades, including retention walls and related devices, and erosion control measures. Written erosion control plan indicating pre-site disturbance elements, maintenance and inspection timing of same during construction, provisions for temporary stabilization during construction and final stabilization plan.
- Elevation Drawings.
  - Elevations of proposed buildings or proposed remodeling of existing buildings showing finished exterior treatment and all rooftop, wall-mounted, and ground-mounted mechanical equipment.
  - Depict exterior materials, texture, color, and overall appearance.
  - Perspective renderings of the proposed project and/or photos of similar structures may also be submitted, but not in lieu of drawings showing the actual intended appearance of the building(s).
- Photometric Plan



- Location, type, height, design, illumination power, and orientation of all exterior lighting on the subject property.
- Impact of lighting across the entire property to the property lines rounding to the nearest 0.10 foot candles.
- Operational Plan.
  - Describe the proposed hours of operation and traffic generation.
  - Procedures for snow removal, except for single and two family residential.

### III Process Checklist

- |   |              |
|---|--------------|
| <input type="checkbox"/> Pre-Application conference with Staff (recommended)                | Date: SW __  |
| <input type="checkbox"/> Application fee of \$300.00 received by City Clerk                 | Date: __SW__ |
| <input type="checkbox"/> Reimbursement of professional consultant costs agreement executed. | Date: SW __  |
| <input type="checkbox"/> Receipt of final application packet by Engineering                 | Date: _____  |
| <input type="checkbox"/> City Staff input   | Date: _____  |
| <input type="checkbox"/> Review and action by Engineering and Zoning Administrator          | Date: _____  |



**City of Fort Atkinson Procedural Checklist for Zoning Map Amendments  
(Rezoning)  
Requirements per Section 15.10.31**

This form is designed to be used by the Applicant as a guide to submitting a complete application to amend the Official Zoning Map and by the City to process the application.

Name, company, and client (if applicable): Riverpoint Commons - Prc 3 Emily McFarland  
Engineer - Brad Treas BTREMC GRELEEMC.COM

Phone number: [REDACTED] Email: [REDACTED]

Property address of requested zoning change: 550 McMILLEN + 0  
McMILLEN STREET

Zoning change request from I to MBH-30

**I Application Packet Requirements**

The Applicant shall submit an electronic or paper copies, as may be required by the City, of the application.

- A map of the subject property to scale, depicting the following:
  - All lands for which the zoning is proposed to be amended and all other lands within 100 feet of the boundaries of the subject property.
  - All parcel numbers for the subject property.
  - Current zoning of the subject property and its environs, and the jurisdiction(s) which maintains that control.
  - All lot dimensions of the subject property.
  - A graphic scale and north arrow.
- Legal description of the property.
- Written justification for the proposed Official Zoning Map amendment, including evidence that the application is consistent with the Comprehensive Plan.
- Any further information needed by the Plan Commission to facilitate the making of a comprehensive report to the Plan Commission and City Council.

**II Criteria Used to Evaluate the Proposed Zoning Map Amendment**

The Zoning Administrator shall review the complete application and evaluate whether the proposed amendment:

1. Advances the purposes of this Chapter as outlined in Section 15.01.03 and the applicable rules of Wisconsin Department of Administration and the Federal Emergency Management Agency.
2. Is in harmony with the Comprehensive Plan.
3. Maintains the desired overall consistency of land uses, land use intensities, and land use impacts within the pertinent zoning districts.

4. Addresses any of the following factors that are not properly addressed on the current Official Zoning Map:
  - a. The designations of the Official Zoning Map are not in conformance with the Comprehensive Plan.
  - b. A mapping mistake was made, including the omission on the Official Zoning Map of an approved zoning map amendment.
  - c. Factors have changed (such as new data, infrastructure, market conditions, development, annexation, or other zoning changes), making the subject property more appropriate for a different zoning district.
  - d. Growth patterns or rates have changed, creating the need for an amendment to the Official Zoning Map.

### III Process Checklist

- |  |             |
|--|-------------|
| <input type="checkbox"/> Staff-Applicant meeting (if applicable)                                     | Date: _____ |
| <input type="checkbox"/> Application fee of \$300.00 received by City Clerk                          | Date: _____ |
| <input type="checkbox"/> Reimbursement of professional consultant costs agreement executed.          | Date: _____ |
| <input type="checkbox"/> Receipt of complete application packet by Zoning Administrator              | Date: _____ |
| <input type="checkbox"/> City Staff input  | Date: _____ |
| <input type="checkbox"/> Class 2 legal notice sent to official newspaper by City Clerk               | Date: _____ |
| <input type="checkbox"/> Class 2 legal notice published on _____ and _____                           | Date: _____ |
| <input type="checkbox"/> Notification of neighboring property owners within 100 feet of the petition | Date: _____ |
| <input type="checkbox"/> Notification of clerks of municipalities within 1,000 feet of the petition  | Date: _____ |
| <input type="checkbox"/> Notification of airports within 1 mile of the petition                      | Date: _____ |
| <input type="checkbox"/> Plan Commission Public Hearing, review and recommendation                   | Date: _____ |
| <input type="checkbox"/> City Council review and action  | Date: _____ |

City of Fort Atkinson

Written Description for Site Plan – Schumacher Way

Parcel **226-0614-3443-018**

OUTLOT 1, FORT HEALTHCARE ADD, DOC 1484482.

Parcel **226-0614-3434-045**

OUTLOT 1, CSM 5180-28-014, DOC 1247124. ALSO AFFIDAVIT IN DOC 1247647.

Both properties are currently zoned Institutional (I), which does not permit standalone multi-family residential buildings without a commercial component. As a result, rezoning will be required. We would like to rezone the property to Multi-Residential-30 (MRH-30). This district is intended for multi-family uses in mid and large-sized buildings such as multiplexes or apartments at higher densities, up to 50 dwelling units per acre, which aligns with our proposed density. The City's Comprehensive Plan, which was amended in 2023, also supports the MRH-30 Zoning as well. The attached site plan shows our 24-unit buildings, with each unit varying from 1 to 2-unit bedrooms, underground parking, and a shared entrance. One building will also have a community space for the tenants and their guests to use. Depending upon the unit, each is roughly between 780, and 1,164 square feet. There are also an office space and a mail pickup location for the tenants. PRE/3 anticipates there will be 1 full-time (property manager) and possibly 2 part-time employees for maintenance and housekeeping. The architectural plans provided are for representative purposes only. Finalized architectural plans are not yet available, but this does provide a solid representation of the layout.

Parcel **226-0614-3443-018**

OUTLOT 1, FORT HEALTHCARE ADD, DOC 1484482.

Parcel **226-0614-3434-045**

OUTLOT 1, CSM 5180-28-014, DOC 1247124. ALSO AFFIDAVIT IN DOC 1247647.



**SITE DATA**

TOTAL AREA = 7.55 ACRES, 329,061 S.F.  
 BUILDING AREA = 0.89 ACRES, 38,947 S.F. (11.8%)  
 SIDEWALK/PARKING LOT AREA = 1.61 ACRES, 70,253 S.F. (21.3%)  
 GREEN SPACE = 5.05 ACRES, 219,861 S.F. (66.9%)

**ZONING**

CURRENT- I = INSTITUTIONAL USE  
 PROPOSED- MRH-30 - Multi-Family Residential - 30

**PARCEL NOS.**

226-0614-3443-018  
 226-0614-3434-045

**BRIEF LEGAL DESCRIPTION**

Parcel 226-0614-3443-018 AND 226-0614-3434-045  
 OUTLOT 1, FORT HEALTHCARE ADD, DOC 1484482.  
 OUTLOT 1, CSM 5180-28-014, DOC 1247124. ALSO AFFIDAVIT IN DOC 1247647.

**PARKING DATA**

TOTAL PARKING STALLS PROVIDED = 214  
 SURFACE PARKING STALLS = 118  
 ATTACHED COVER STALLS = 96

**BUILDING COUNT**

4 - 24 UNIT BUILDINGS - 96 TOTAL UNITS  
 96 / 7.55 = 12.72 UNITS PER ACRE

**SETBACKS**

MRH-30 CODE (TO BE DETERMINED)

File: R:\Users\p131\10112021\Map\Schumacher Way\Site\Concept - 11x17.dwg  
 Plot Date: Feb 25, 2025 - 8:55am  
 LAYOUT: 11x17

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
								CHECKED
								DESIGNED

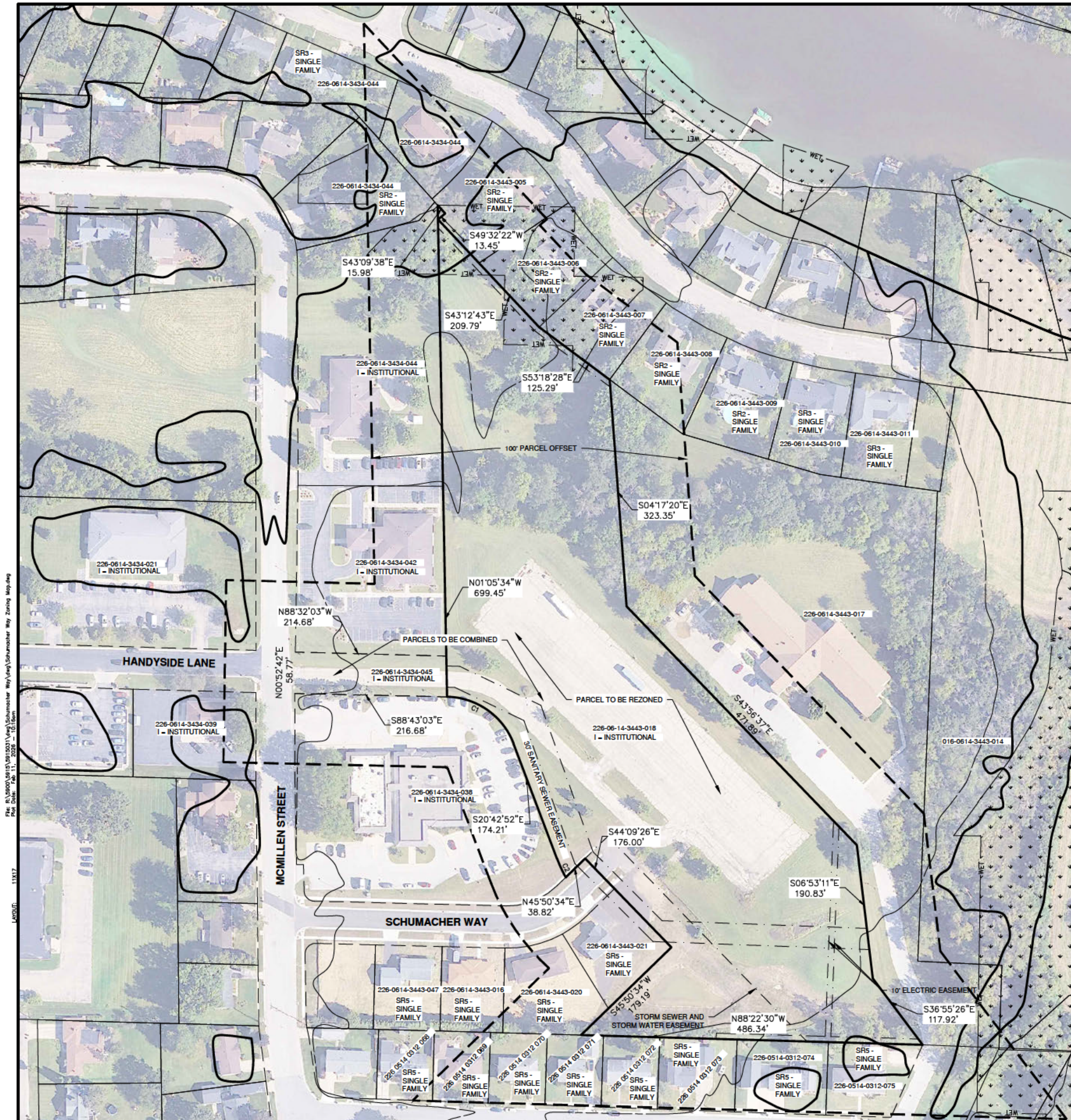
550 MCMILLEN ST - PARCEL 226-0614-3443-018  
 FOR PRE/3  
 CITY OF FORT ATKINSON  
 JEFFERSON COUNTY, WI

CONCEPT SITE PLAN - 96 UNIT LAYOUT

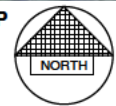
DATE  
11/20/25  
 FILE  
FORT - CONCEPT 1  
 JOB NO.

**REL Robert E. Lee & Associates, Inc.**  
 1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

SHEET NO.  
**1**



**LOCATION MAP**



**SITE DATA**

TOTAL AREA = 7.49 ACRES, 326,415 S.F.

**ZONING**

CURRENT- I = INSTITUTIONAL  
 PROPOSED- MRH- 30 = MULTI-RESIDENTIAL-8

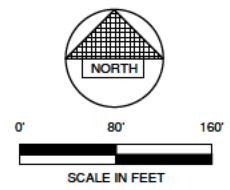
**PARCEL NO.**

226-06-14-3443-018

**BRIEF LEGAL DESCRIPTION**

Parcel 226-0614-3443-018  
 OUTLOT 1, FORT HEALTHCARE ADD, DOC 1484482.

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	123.17	103.78	68.00	N54° 42' 57"W	116.07
C2	29.68	209.71	8.11	S24° 46' 06"E	29.65



File: R:\Users\jlee\13102021\Map\Schumacher Way\Map\Schumacher Way Zoning Map.dwg  
 Plot Date: Feb 11, 2025 - 10:58am  
 Location: 13107

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

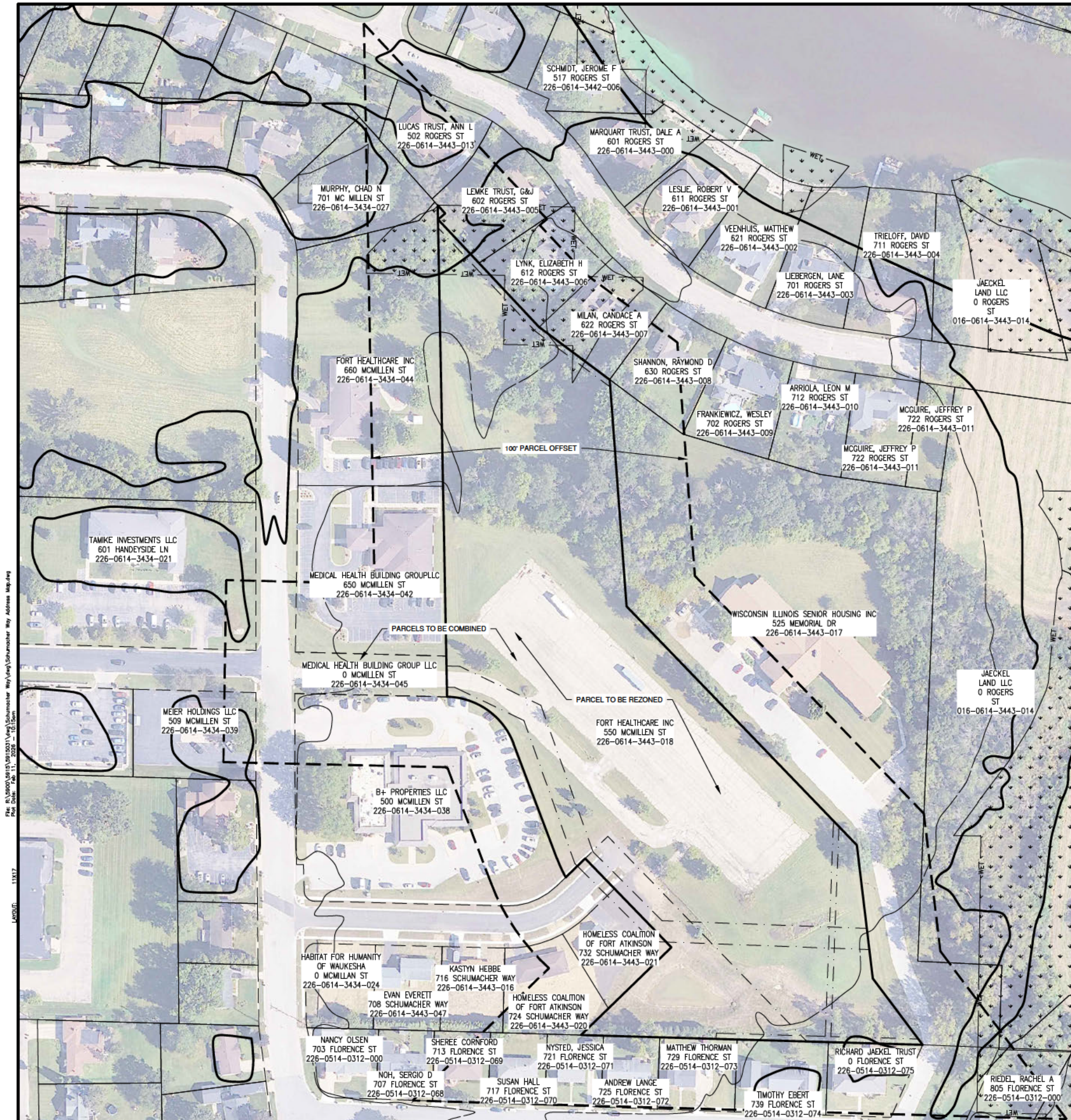
550 MCMILLEN ST - PARCEL 226-0614-3443-018  
 FOR PRE/3  
 CITY OF FORT ATKINSON  
 JEFFERSON COUNTY, WI

ZONING MAP

DATE  
11/20/25  
 FILE  
SCHUMACHER WAY ZONING MAP  
 JOB NO.



SHEET NO.  
1



**SITE DATA**

TOTAL AREA = 7.49 ACRES, 326,415 S.F.

**ZONING**

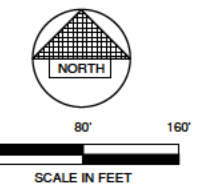
CURRENT- I = INSTITUTIONAL  
 PROPOSED- MRL-8 = MULTI-RESIDENTIAL-8

**PARCEL NO.**

226-06-14-3443-018

**BRIEF LEGAL DESCRIPTION**

Parcel 226-0614-3443-018  
 OUTLOT 1, FORT HEALTHCARE ADD, DOC 1484482.



File: H:\Users\jlee\10110201\Map\Schumacher Way\Map\Schumacher Way Address Map.dwg  
 Plot Date: Feb 11, 2025 - 10:58am  
 Layout: 11x17

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

550 MCMILLEN ST - PARCEL 226-0614-3443-018  
 FOR PRE/3  
 CITY OF FORT ATKINSON  
 JEFFERSON COUNTY, WI

ADDRESS MAP

DATE	11/20/25
FILE	SCHUMACHER WAY ADDRESS MAP
JOB NO.	

**REL Robert E. Lee & Associates, Inc.**  
 1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

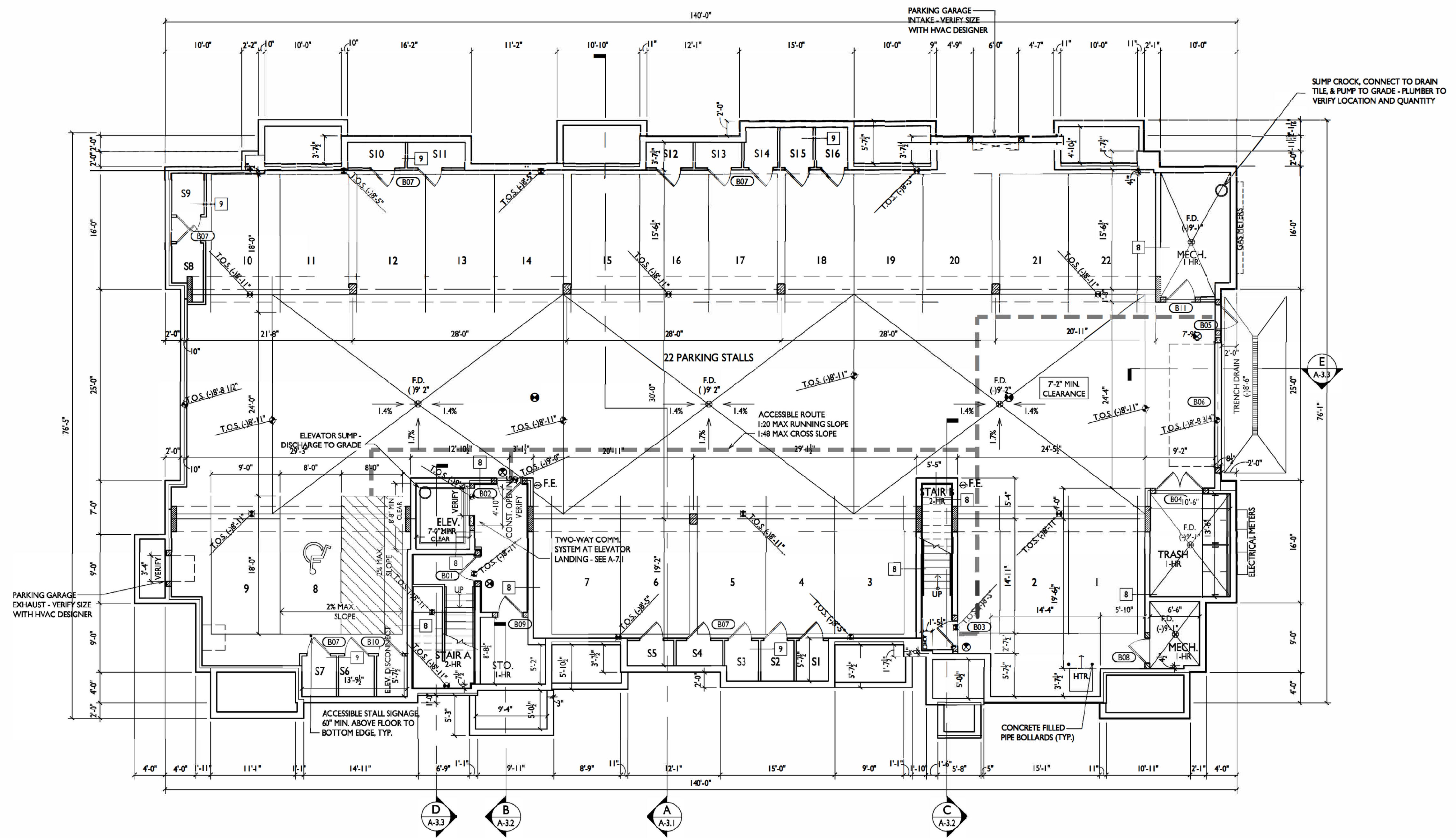
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**1**



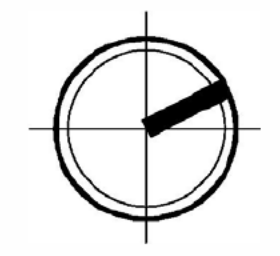
1
A-2.2
**NORTH ELEVATION**  
 1/8" = 1'-0"



1 EAST ELEVATION  
A-Z, 1  
1/8" = 1'-0"



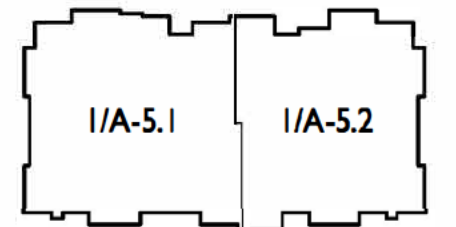
**I BASEMENT PLAN**  
A-1.0  
1/8" = 1'-0"





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1ST FLOOR

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Issued For Plan Review - September 11, 2025

PROJECT TITLE  
**Whistling Ridge  
Building #3**

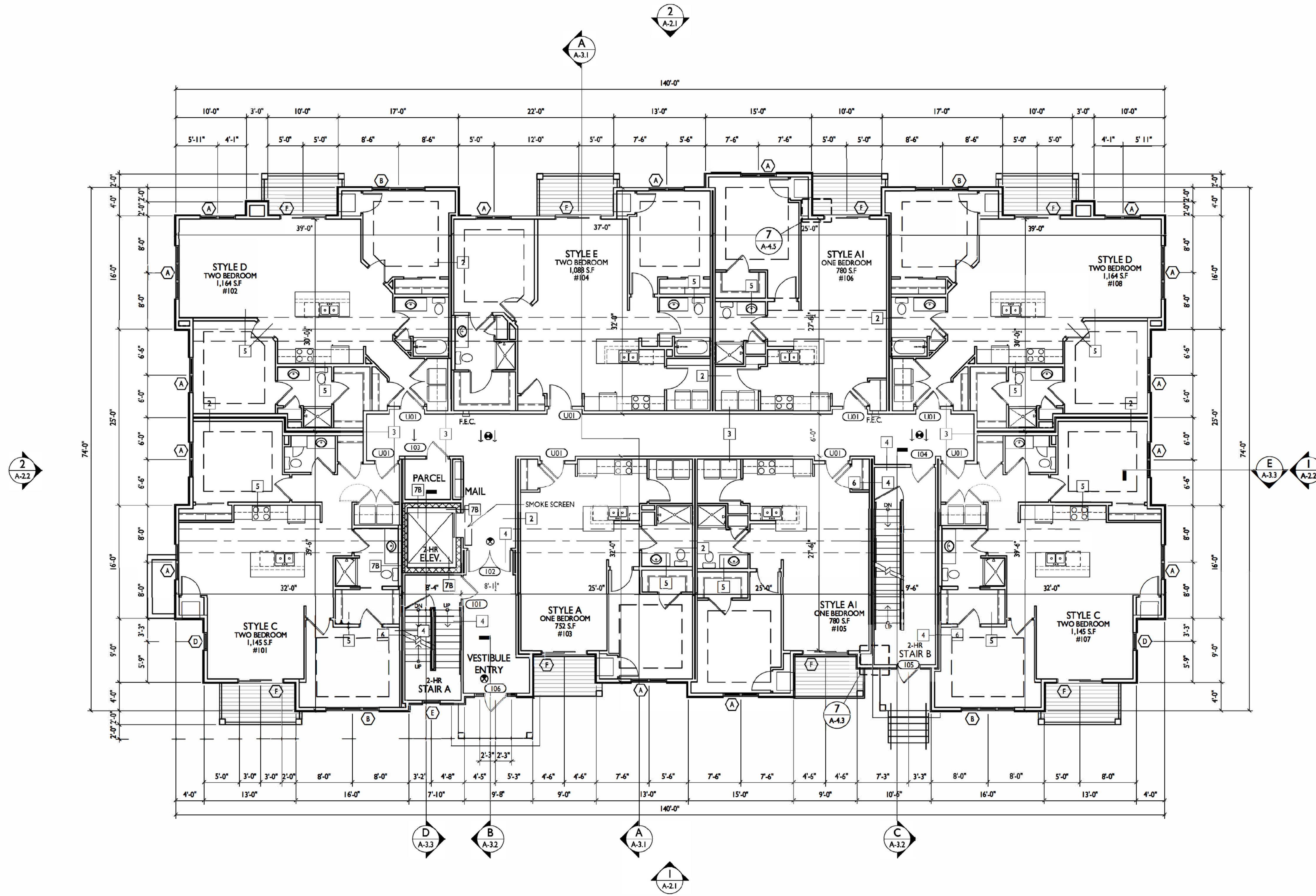
108 Whistle Street  
Marshall, WI  
SHEET TITLE  
**First Floor Plan**

SHEET NUMBER

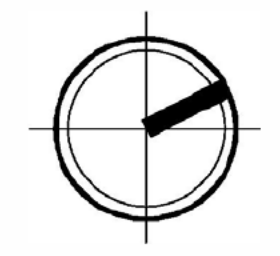
**A-1.1**

PROJECT NO. **2002**

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**FIRST FLOOR PLAN**  
1/8" = 1'-0"





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2ND FLOOR

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Issued For Plan Review - September 11, 2025

PROJECT TITLE  
**Whistling Ridge  
Building #3**

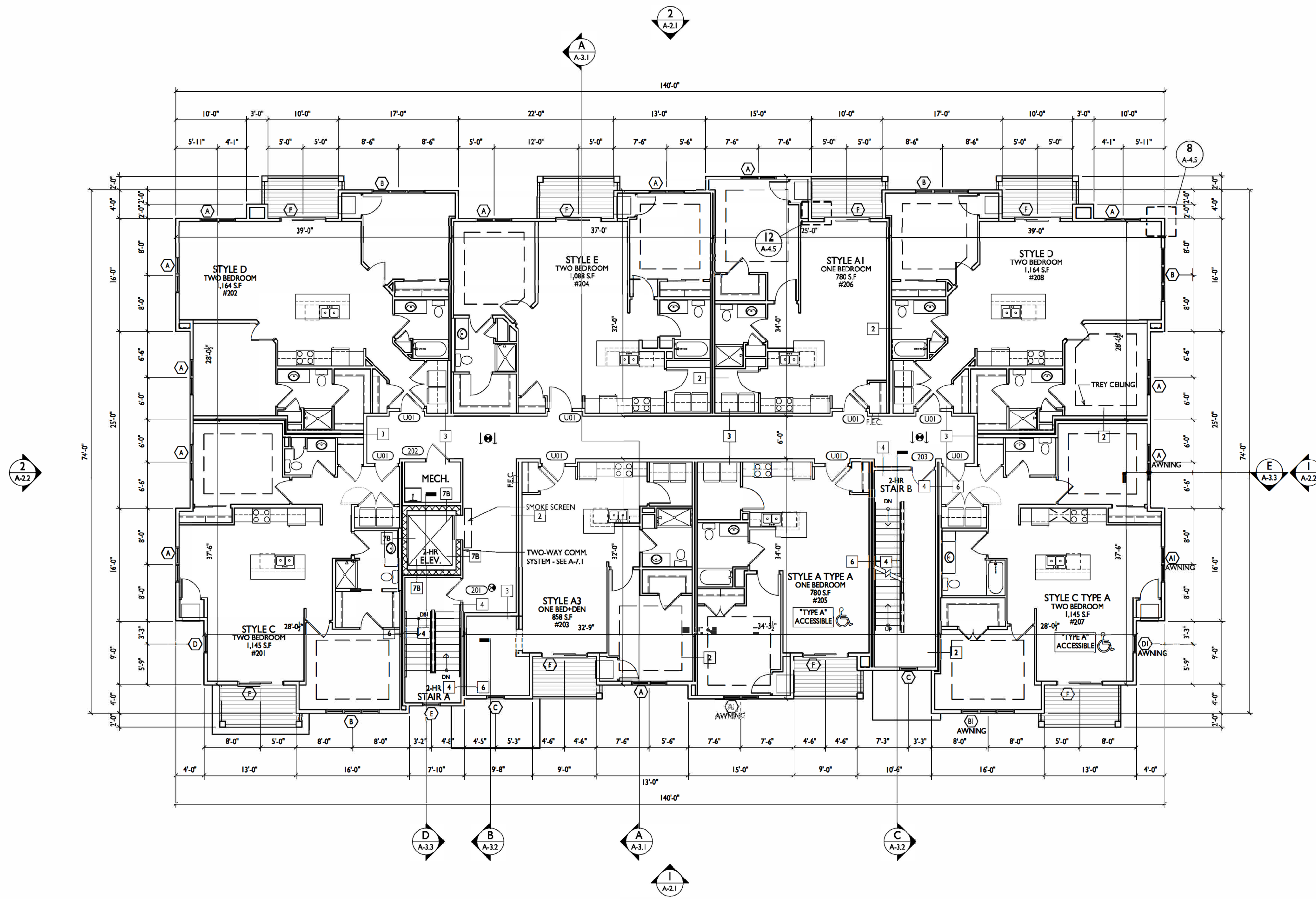
108 Whistle Street  
Marshall, WI  
SHEET TITLE  
**Second Floor Plan**

SHEET NUMBER

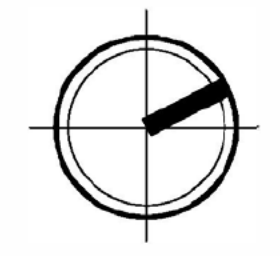
**A-1.2**

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**1**  
A-1.2  
**SECOND FLOOR PLAN**  
1/8" = 1'-0"





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3RD FLOOR

ISSUED  
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PROJECT TITLE  
**Whistling Ridge  
Building #3**

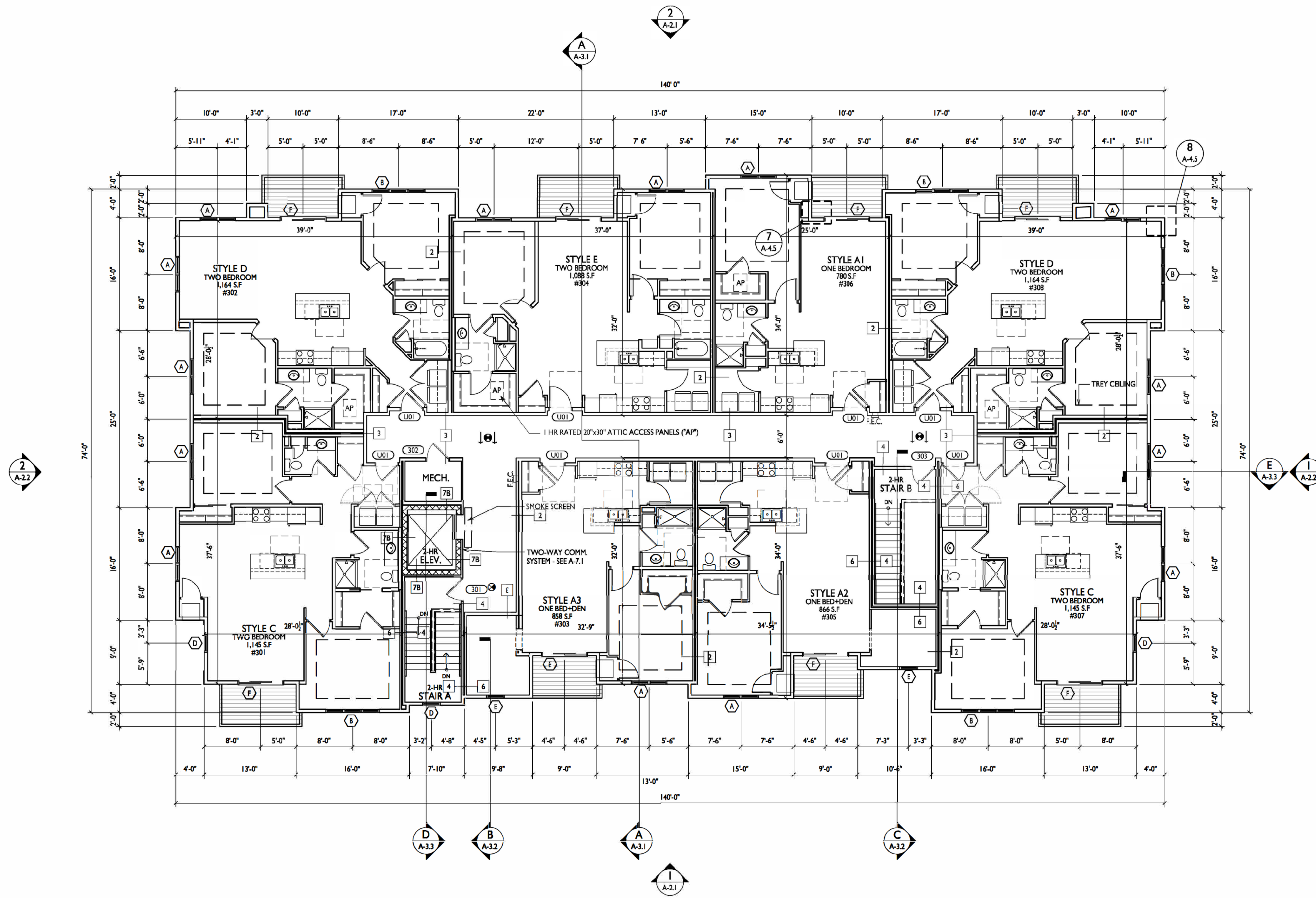
108 Whistle Street  
Marshall, WI  
SHEET TITLE  
**Third Floor Plan**

SHEET NUMBER

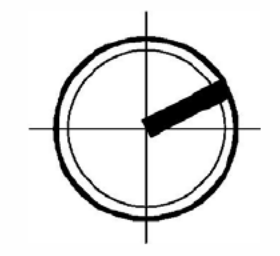
**A-1.3**

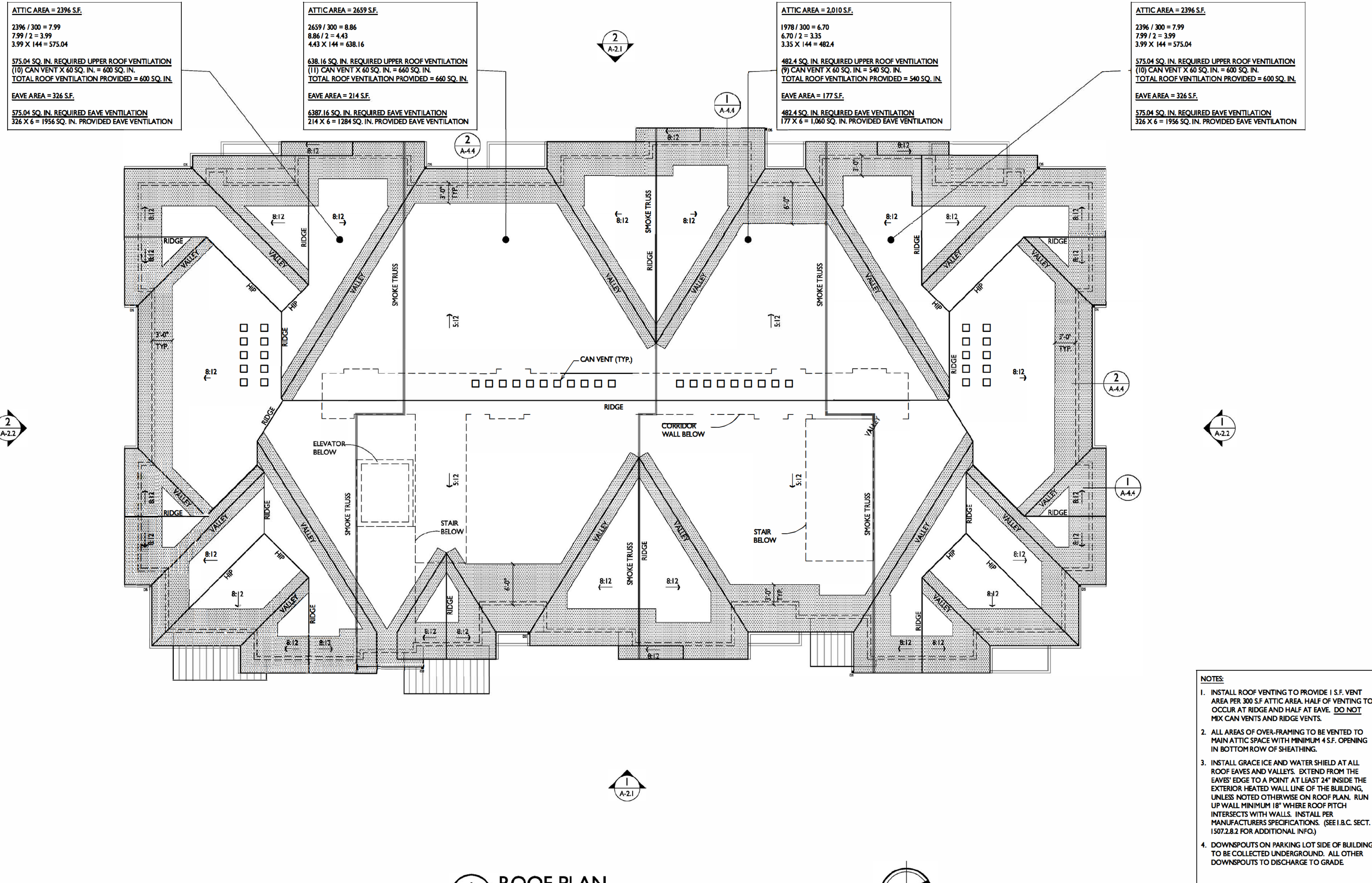
PROJECT NO. **2002**

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**1**  
A-1.3  
**THIRD FLOOR PLAN**  
1/8" = 1'-0"





ATTIC AREA = 2396 S.F.  
2396 / 300 = 7.99  
7.99 / 2 = 3.99  
3.99 X 144 = 575.04  
575.04 SQ. IN. REQUIRED UPPER ROOF VENTILATION  
(10) CAN VENT X 60 SQ. IN. = 600 SQ. IN.  
TOTAL ROOF VENTILATION PROVIDED = 600 SQ. IN.  
EAVE AREA = 326 S.F.  
575.04 SQ. IN. REQUIRED EAVE VENTILATION  
326 X 6 = 1956 SQ. IN. PROVIDED EAVE VENTILATION

ATTIC AREA = 2659 S.F.  
2659 / 300 = 8.86  
8.86 / 2 = 4.43  
4.43 X 144 = 638.16  
638.16 SQ. IN. REQUIRED UPPER ROOF VENTILATION  
(11) CAN VENT X 60 SQ. IN. = 660 SQ. IN.  
TOTAL ROOF VENTILATION PROVIDED = 660 SQ. IN.  
EAVE AREA = 214 S.F.  
638.16 SQ. IN. REQUIRED EAVE VENTILATION  
214 X 6 = 1284 SQ. IN. PROVIDED EAVE VENTILATION

ATTIC AREA = 2,010 S.F.  
1978 / 300 = 6.70  
6.70 / 2 = 3.35  
3.35 X 144 = 482.4  
482.4 SQ. IN. REQUIRED UPPER ROOF VENTILATION  
(9) CAN VENT X 60 SQ. IN. = 540 SQ. IN.  
TOTAL ROOF VENTILATION PROVIDED = 540 SQ. IN.  
EAVE AREA = 177 S.F.  
482.4 SQ. IN. REQUIRED EAVE VENTILATION  
177 X 6 = 1,060 SQ. IN. PROVIDED EAVE VENTILATION

ATTIC AREA = 2396 S.F.  
2396 / 300 = 7.99  
7.99 / 2 = 3.99  
3.99 X 144 = 575.04  
575.04 SQ. IN. REQUIRED UPPER ROOF VENTILATION  
(10) CAN VENT X 60 SQ. IN. = 600 SQ. IN.  
TOTAL ROOF VENTILATION PROVIDED = 600 SQ. IN.  
EAVE AREA = 326 S.F.  
575.04 SQ. IN. REQUIRED EAVE VENTILATION  
326 X 6 = 1956 SQ. IN. PROVIDED EAVE VENTILATION

**NOTES:**

1. INSTALL ROOF VENTING TO PROVIDE 1 S.F. VENT AREA PER 300 S.F. ATTIC AREA. HALF OF VENTING TO OCCUR AT RIDGE AND HALF AT EAVE. **DO NOT** MIX CAN VENTS AND RIDGE VENTS.
2. ALL AREAS OF OVER-FRAMING TO BE VENTED TO MAIN ATTIC SPACE WITH MINIMUM 4 S.F. OPENING IN BOTTOM ROW OF SHEATHING.
3. INSTALL GRACE ICE AND WATER SHIELD AT ALL ROOF EAVES AND VALLEYS. EXTEND FROM THE EAVES' EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR HEATED WALL LINE OF THE BUILDING, UNLESS NOTED OTHERWISE ON ROOF PLAN. RUN UP WALL MINIMUM 18" WHERE ROOF PITCH INTERSECTS WITH WALLS. INSTALL PER MANUFACTURER'S SPECIFICATIONS. (SEE I.B.C. SECT. 1507.2.8.2 FOR ADDITIONAL INFO.)
4. DOWNSPOUTS ON PARKING LOT SIDE OF BUILDING TO BE COLLECTED UNDERGROUND. ALL OTHER DOWNSPOUTS TO DISCHARGE TO GRADE.

**1**  
A-1.4  
**ROOF PLAN**  
1/8" = 1'-0"



**1** **SOUTHEAST ELEVATION**  
A-2.1 1/8" = 1'-0"



**2** **NORTHWEST ELEVATION**  
A-2.1 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
1 HORIZONTAL VINYL SIDING		
2 ASPHALT SHINGLES		
3 ADHERED STONE VENEER		
4 COMPOSITE TRIM		
5 COMPOSITE WRAPPED COLUMNS		
6 COMPOSITE SHAKES		
7 PRECAST CAP		
8 ALUMINUM RAILINGS		
9 PRECAST SILL		
10 INSULCRETE FINISH COAT		
11 RETAINING WALL		
12 STANDING SEAM METAL ROOF		



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PROJECT TITLE  
**Whistling Ridge  
Building #3**

108 Whistle Street  
Marshall, WI  
SHEET TITLE  
**Elevations**

SHEET NUMBER

**A-2.1**

PROJECT NO. **2002**  
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EXTERIOR MATERIAL SCHEDULE		
BUILDING ELEMENT	MANUFACTURER	COLOR
1 HORIZONTAL VINYL SIDING		
2 ASPHALT SHINGLES		
3 ADHERED STONE VENEER		
4 COMPOSITE TRIM		
5 COMPOSITE WRAPPED COLUMNS		
6 COMPOSITE SHAKES		
7 PRECAST CAP		
8 ALUMINUM RAILINGS		
9 PRECAST SILL		
10 INSULCRETE FINISH COAT		
11 RETAINING WALL		
12 STANDING SEAM METAL ROOF		



**2** **SOUTHWEST ELEVATION**  
 A-2.2 1/8" = 1'-0"



**1** **NORTHEAST ELEVATION**  
 A-2.2 1/8" = 1'-0"

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 Issued For Plan Review - September 11, 2025

PROJECT TITLE  
**Whistling Ridge**  
**Building #3**

108 Whistle Street  
 Marshall, WI  
 SHEET TITLE  
**Elevations**

SHEET NUMBER

**A-2.2**

PROJECT NO. **2002**  
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**TYPICAL PITCHED ROOF (1 HR.)**

- ASPHALT SHINGLES (CLASS B)
- 15# ROOF FELT (ICE AND WATER SHIELD AT ALL EAVES AND VALLEYS - SEE ROOF PLAN)
- 1/2" (32/16) APA RATED EXPOSURE I OSB SHEATHING w/ H-CLIPS AT LONG EDGES. FASTEN w/8d NAILS AT 6" O.C. EDGES AND 12" O.C. FIELD
- R-50 BLOWN FIBERGLASS INSULATION
- ENGINEERED ROOF TRUSSES @ 24" O.C.
- DUCTS AND AIR TRANSFER OPENINGS THAT PENETRATE THE CEILING MEMBRANE OF A CEILING ASSEMBLY SHALL BE PROTECTED BY A LISTED CEILING RADIATION DAMPER
- 6 MIL POLY VAPOR BARRIER
- RESILIENT CHANNELS AT 12" O.C.
- (1) LAYER 5/8" TYPE 'C' GYP. BOARD SECURED WITH 1" MAX. SCREWS

(SEE U.L. #F522 FOR ADDITIONAL REQUIREMENTS)

**TYPICAL EXTERIOR WALL @ COMPOSITE SIDING (1 HR.)**

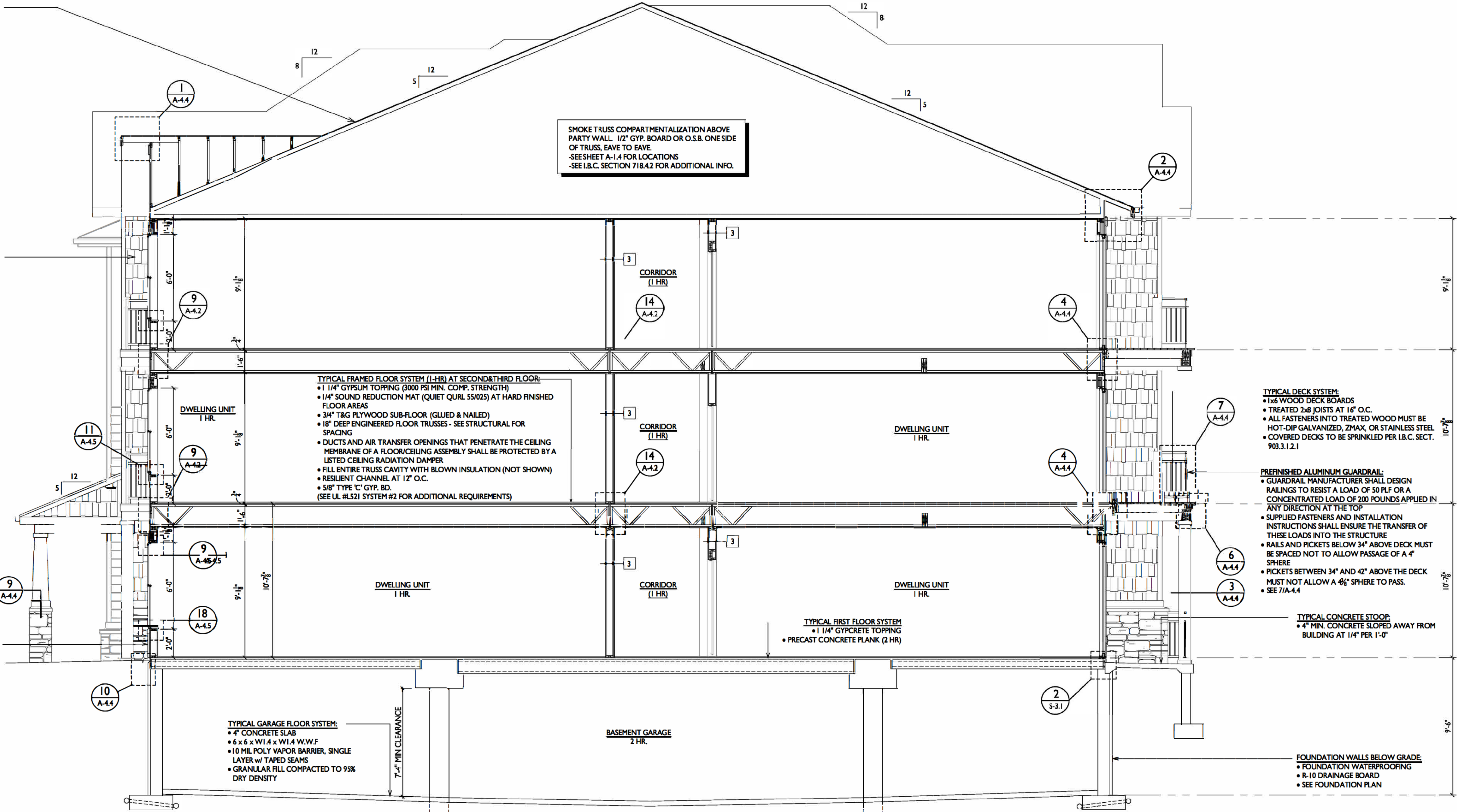
- HORIZONTAL OR SHAKE COMPOSITE SIDING
- BUILDING WRAP
- 7/16" O.S.B. RATED EXPOSURE I WALL SHEATHING (NAIL WITH 8d NAILS AT 6" O.C. EDGES AND 12" O.C. AT INTERMEDIATE STUDS)
- 2x6 STUDS @ 16" O.C.
- R-21 FIBERGLASS BATT INSULATION
- 6 MIL POLY VAPOR RETARDER
- 5/8" TYPE 'X' GYP. BOARD

(SEE U.L. #U356 FOR ADDITIONAL REQUIREMENTS)

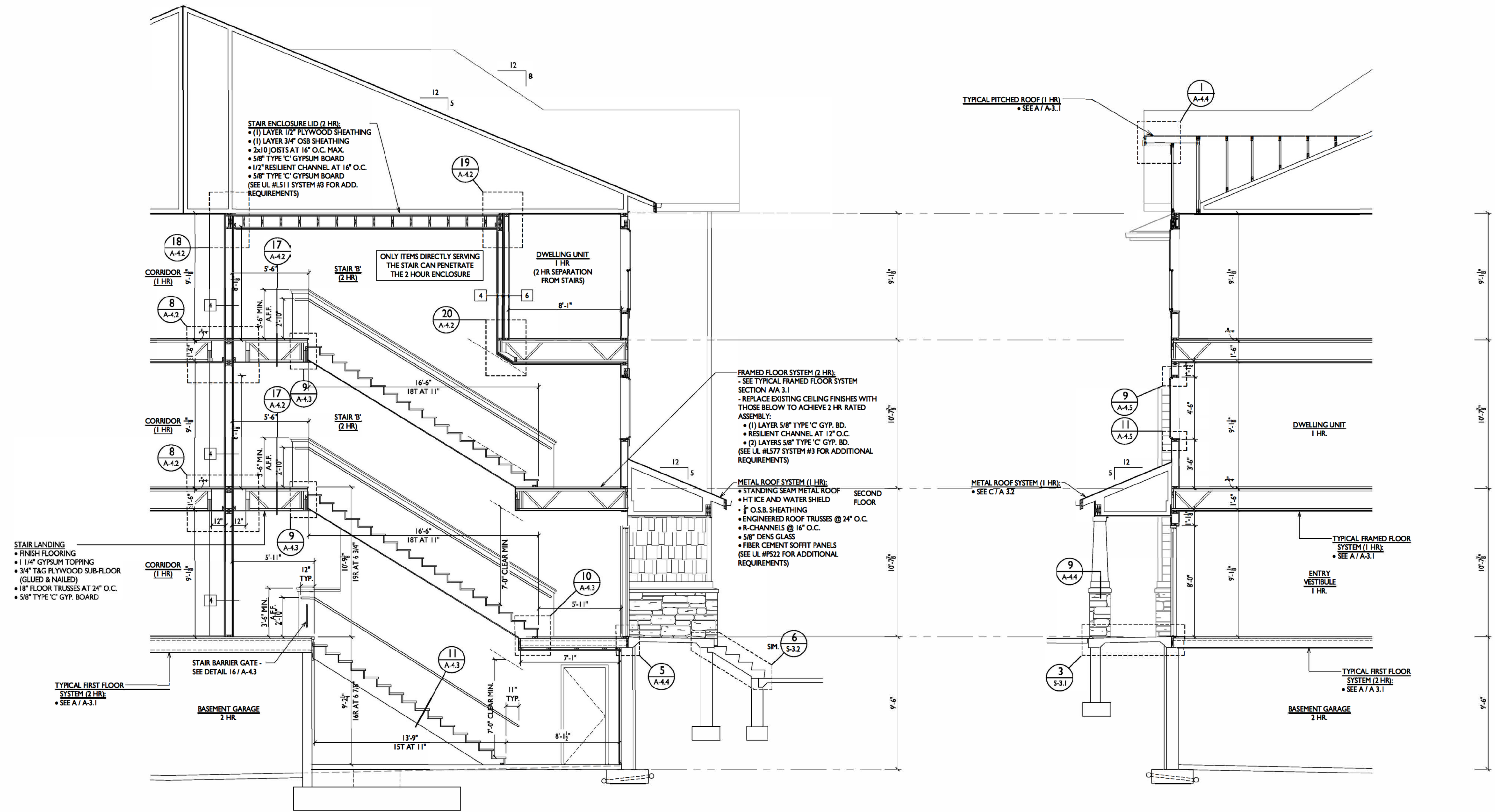
**TYP. EXTERIOR WALL @ STONE VENEER (1 HR.)**

- ADHERED NATURAL STONE VENEER
- MORTAR SCRATCH COAT
- METAL LATH, ANCHORED TO STUDS
- DRAINAGE MAT
- (2) LAYERS OF BUILDING WRAP
- 7/16" O.S.B. RATED EXPOSURE I WALL SHEATHING (NAIL WITH 8d NAILS AT 6" O.C. EDGES AND 12" O.C. AT INTERMEDIATE STUDS)
- 2x6 STUDS (SEE FRAMING PLANS FOR SPACING)
- R-21 FIBERGLASS BATT INSULATION
- 6 MIL POLY VAPOR BARRIER
- 5/8" TYPE 'X' GYP. BOARD

(SEE U.L. #U425 FOR ADDITIONAL DETAILS)

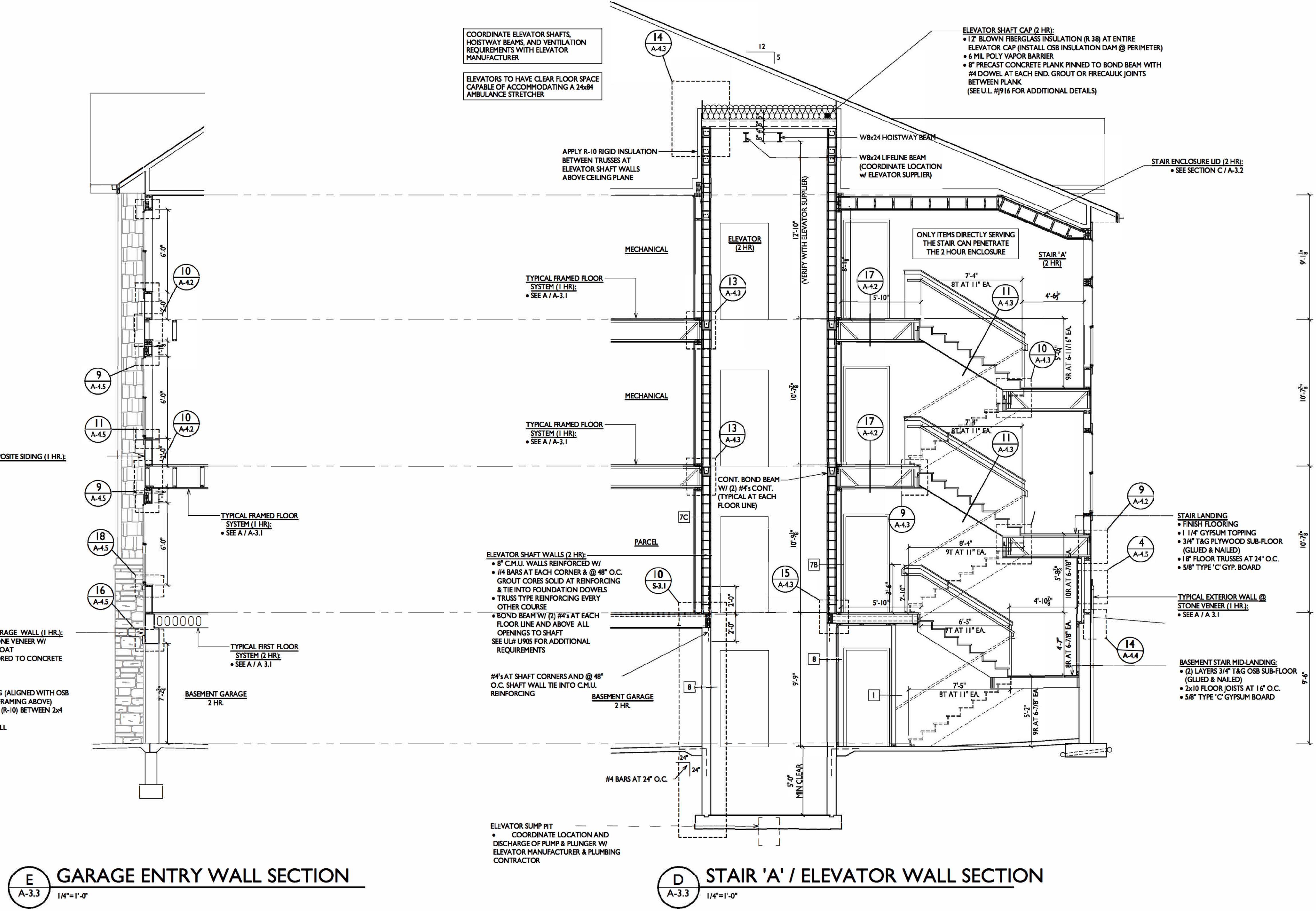


**A**  
A-3.1  
BUILDING SECTION  
1/4"=1'-0"



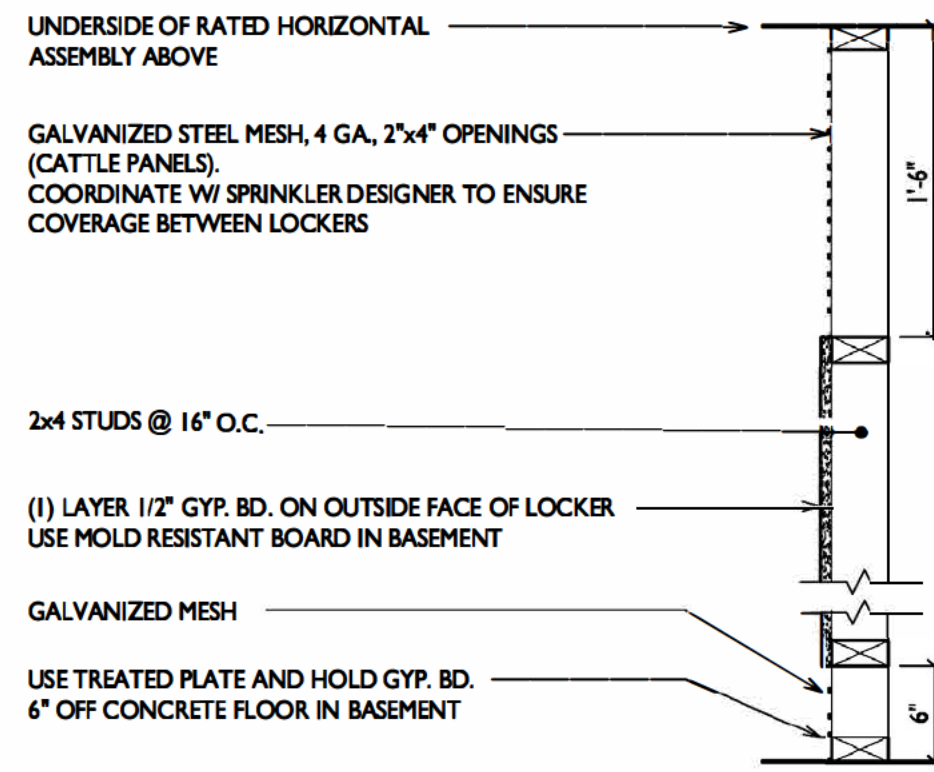
**C STAIR 'B' WALL SECTION**  
A-3.2 1/4"=1'-0"

**B WALL SECTION**  
A-3.2 1/4"=1'-0"

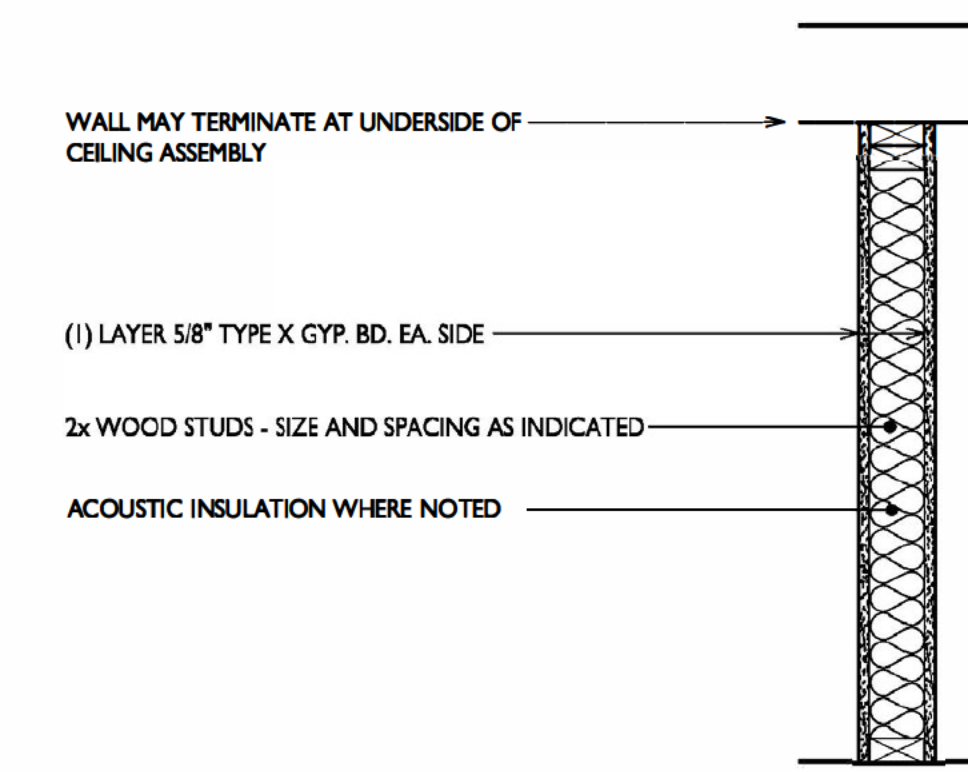


GENERAL SECTION / DETAIL NOTES:

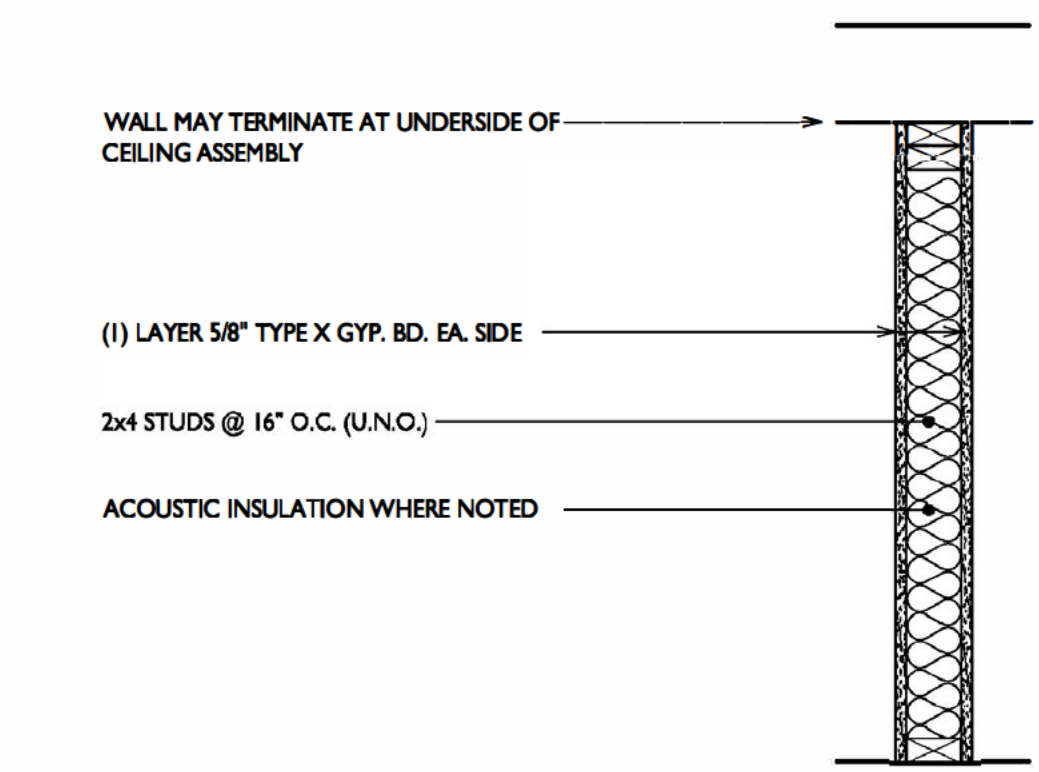
1. PLAN DIMENSIONS ARE TO FACE OF FRAMING/CMU/CONCRETE, CENTERLINE OF STRUCTURAL COLUMNS, CENTERLINE OF WINDOW/DOOR OPENINGS, AND EDGE OF STAIR NOSINGS.
2. ALL LUMBER IN CONTACT WITH CONCRETE BELOW OR WITHIN 8" OF GRADE SHALL BE PRESERVATIVE TREATED.
3. ALL SUB-FLOOR PANELS TO BE GLUED & NAILED.
4. SEE STRUCTURAL DRAWINGS FOR WOOD STUD GRADE, SIZE AND SPACING.
5. REFERENCE CURRENT FIRE RATED ASSEMBLY DESIGN REQUIREMENTS ONLINE AT [HTTP://WWW.UL.COM](http://www.ul.com) - ALL CONTRACTORS ARE RESPONSIBLE FOR MEETING CURRENT SYSTEM REQUIREMENTS AS PUBLISHED BY UL.
6. PENETRATIONS IN RATED ASSEMBLIES SHALL COMPLY WITH IBC 714. SUBMIT FIRESTOP SYSTEMS TO LOCAL AHJ FOR REVIEW PRIOR TO INSTALLATION. FIRESTOP SYSTEMS IN HORIZONTAL ASSEMBLIES SHALL HAVE "I" RATING = TO "F" RATING.
7. GYPSUM BOARD ON FIRE-RATED WALLS (EXTERIOR, PARTY, CORRIDOR, AND BEARING WALLS) SHALL BE INSTALLED BEHIND SOFFITS, TUB & SHOWER UNITS AND CONCEALED OR FURRED-OUT SPACES.
8. CEILINGS AT CONCEALED SPACES SHALL BE COMPLETED IN ACCORDANCE WITH THE FIRE RATING OF THE ASSEMBLY THEY ARE A PART OF. FOR 1 HOUR RATED CONSTRUCTION INSTALL (2) LAYERS 5/8" TYPE C GYPSUM BD.
9. M.E.P. BOXES IN FIRE RATED WALLS SHALL BE UL LISTED AND INSTALLED IN ACCORDANCE WITH THEIR LISTING. BOXES SERVING DIFFERENT DWELLING UNITS SHALL NOT BE INSTALLED WITHIN THE SAME STUD CAVITY.
10. BOXES IN DEMISING WALLS AND CEILINGS SHALL HAVE THEIR ANNULAR SPACE SEALED WITH ACOUSTIC SEALANT. SEE 4 & 5 / A-4.1
11. FLEXIBLE DUCTS AND AIR CONNECTORS SHALL NOT PASS THRU ANY RATED ASSEMBLY.
12. ACOUSTIC INSULATION: INSTALL FIBERGLASS BATT INSULATION IN ALL DEMISING AND MECHANICAL ROOM WALLS. INSULATE STUD CAVITIES CONTAINING DWV PIPING.
13. BATT INSULATION THICKNESS SHALL BE EQUAL TO DEPTH OF STUD CAVITY, U.N.O.
14. ALL RESILIENT CHANNEL SHALL BE "RC DELUXE" BY DIETRICH INDUSTRIES. RESILIENT CHANNEL ON WALLS SHALL BE INSTALLED OPEN SIDE UP. FASTEN GYPSUM BOARD TO CHANNEL WITH MAX. 1" LONG SCREWS.
15. INSTALL ACOUSTIC SEALANT AT JOINT BETWEEN WALL AND CEILING GYPSUM BOARD AT ALL DEMISING WALLS.
16. USE GLASS MAT FACED GYPSUM IN ALL ASSEMBLIES IN PARKING GARAGES AND WHERE SURFACES WILL BE EXPOSED TO WEATHER DURING CONSTRUCTION.
17. DESIGN HEAD OF PARTITION CONNECTIONS TO ACCOMMODATE DEFLECTION OF BUILDING STRUCTURE.
18. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL CONCRETE AND CMU WALL REQUIREMENTS.
19. HOLD NON-BEARING CMU WALLS DOWN 1" FROM UNDERSIDE OF PRECAST PLANK / FLOOR SLAB. INSTALL BACKER ROD AND SEALANT OR LISTED JOINT FIRESTOP SYSTEM AT RATED WALLS.
16. GYPSUM FLOOR TOPPING SHALL BE INSTALLED WITH PERIMETER AND FLOOR SURFACE ISOLATION MATERIALS AS DETAILED BY MANUFACTURER IN SUBMITTED ACOUSTIC TEST.
17. PREPARE ALL EXTERIOR WALL OPENINGS (WINDOWS, DOORS, ETC.) IN ACCORDANCE WITH WRB INSTRUCTIONS AND AS DETAILED BY COMPONENT MANUFACTURER AND THESE DRAWINGS.
18. ALL WINDOWS DRYWALL RETURN HEAD AND JAMB W/ SEALANT ENTIRE PERIMETER.
19. VERIFY COMPATIBILITY OF FLASHING / WATERPROOFING MATERIALS THAT WILL BE IN CONTACT PRIOR TO INSTALLATION.
20. MAINTAIN GRADE MINIMUM 8" BELOW WOOD FRAMING OR 4" BELOW MASONRY VENEER, SLOPE GRADE AWAY FROM BUILDING 1/2" PER FOOT MINIMUM FOR AT LEAST 10'.



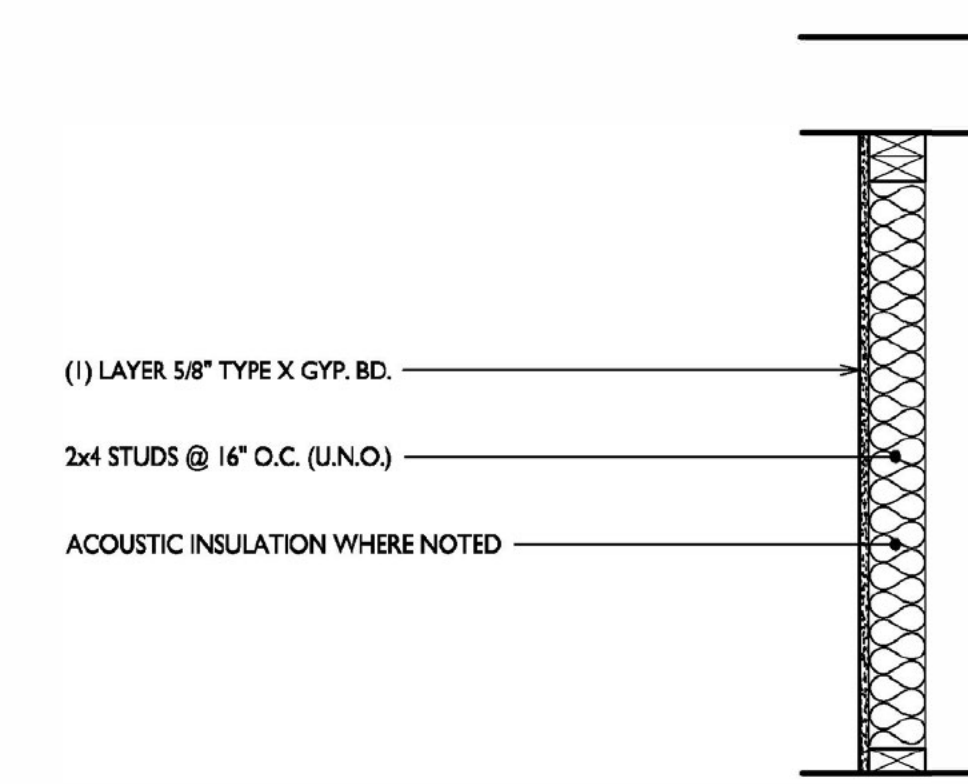
**9**  
A-4.1  
WALL TYPE: **9**  
WOOD STUD STORAGE LOCKER WALL



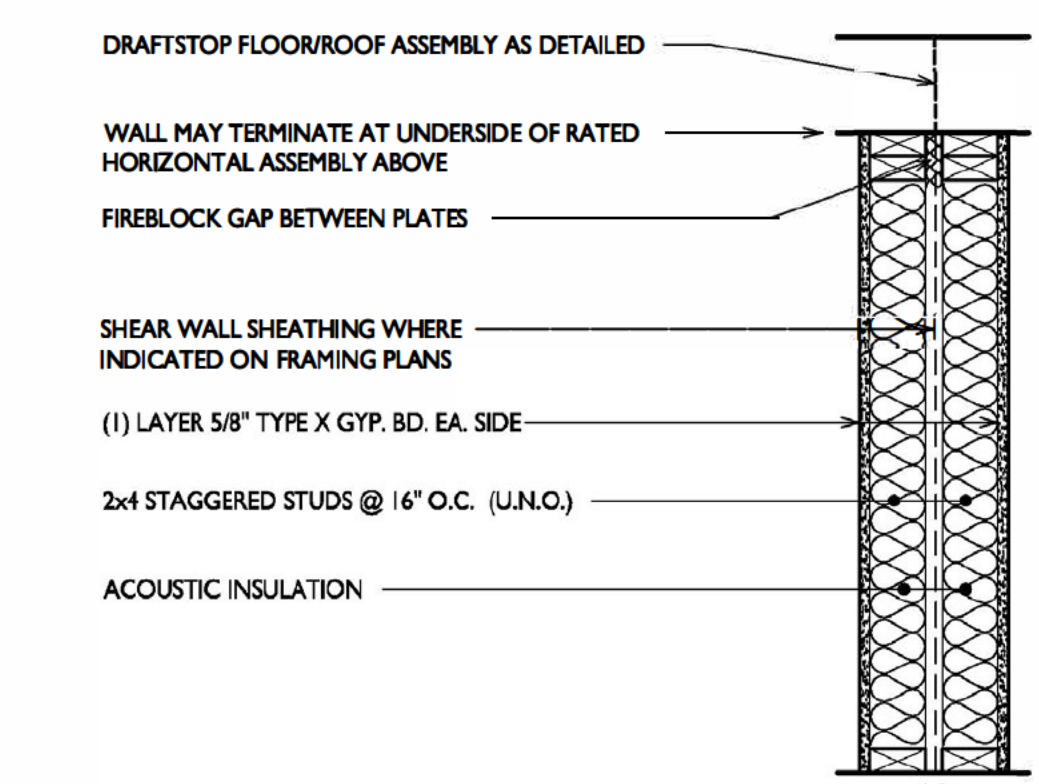
**5**  
A-4.1  
WALL TYPE: **5**  
1 HR RATED BEARING WALL  
1 HR FIRE PARTITION U.L. DESIGN NO. U305



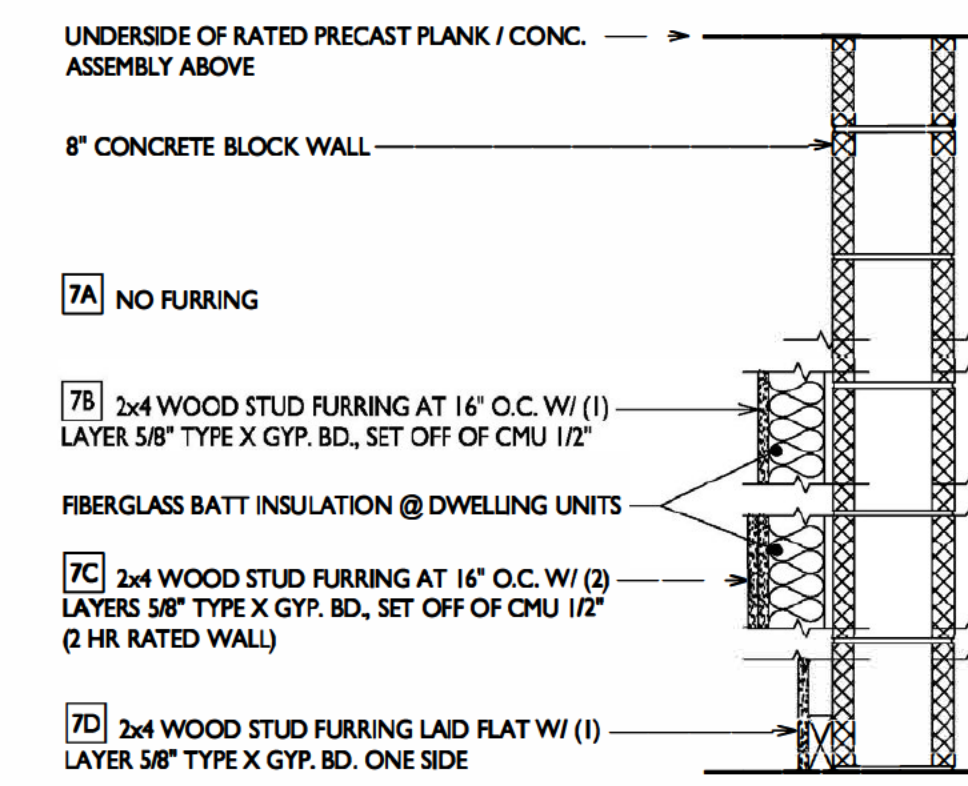
**1**  
A-4.1  
WALL TYPE: **1**  
UNRATED PARTITION  
UNRATED WOOD STUD WALL



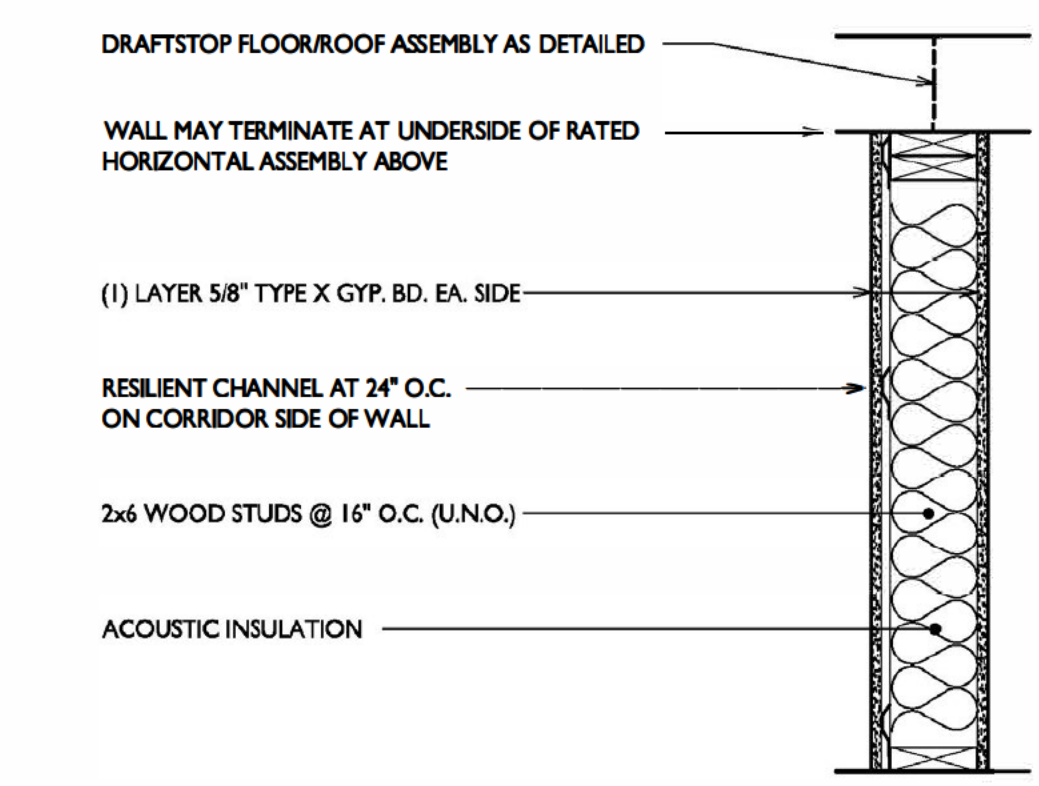
**6**  
A-4.1  
WALL TYPE: **6**  
FURRED WALL  
BEARING WALLS 1 HR RATED U.L. DESIGN NO. U341



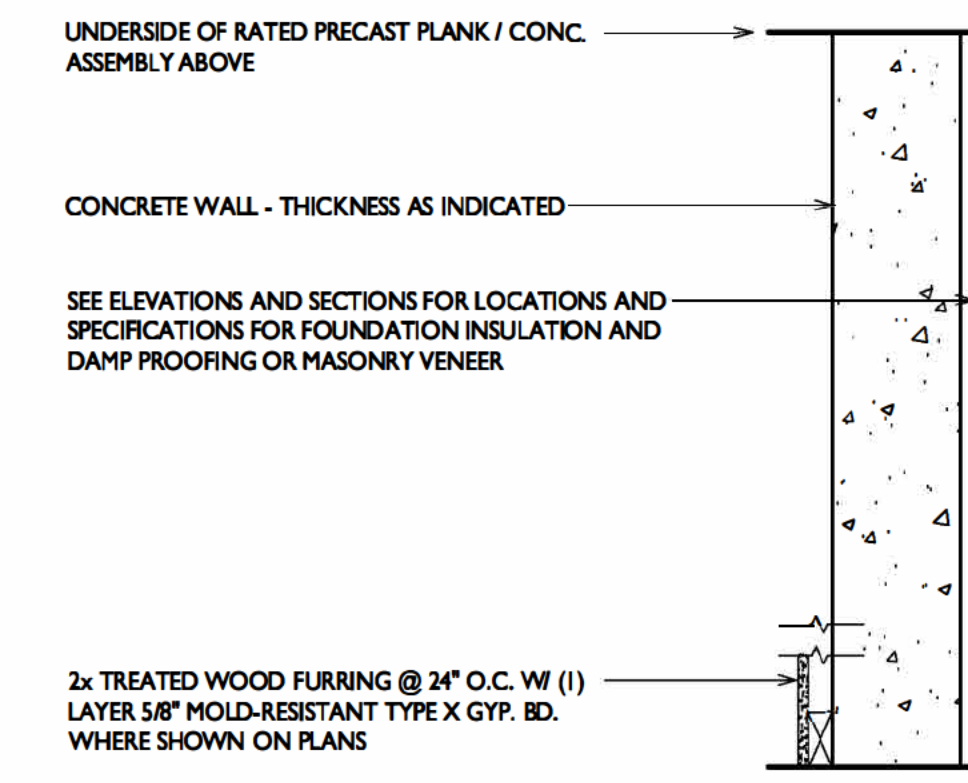
**2**  
A-4.1  
WALL TYPE: **2**  
DWELLING UNIT SEPARATION WALL  
1 HR FIRE PARTITION U.L. DESIGN NO. U341  
STC RATING - 53



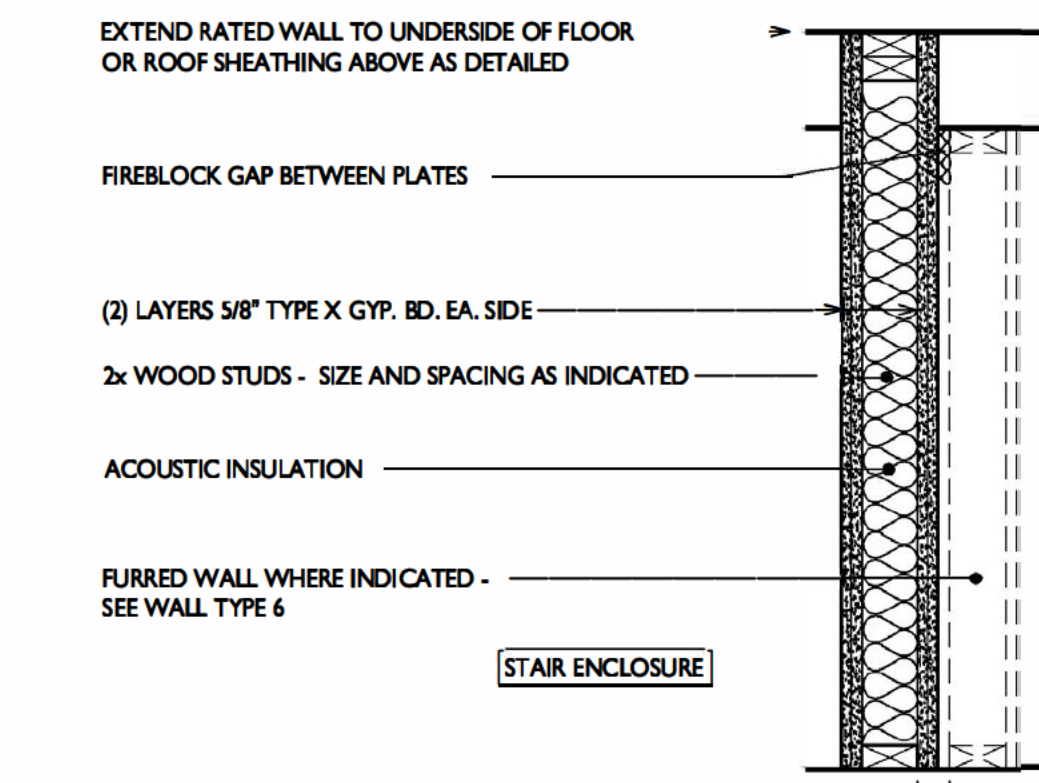
**7**  
A-4.1  
WALL TYPE: **7**  
2 HR RATED CMU WALL W/ FURRING  
PER I.B.C. TABLE 720.1(2) ITEM 3 - 2 HR



**3**  
A-4.1  
WALL TYPE: **3**  
CORRIDOR WALL  
1 HR FIRE PARTITION U.L. DESIGN NO. U305  
STC RATING - 53



**8**  
A-4.1  
WALL TYPE: **8**  
RATED CONC. WALL W/ FURRING  
PER I.B.C. TABLE 720.1(2) ITEM 4-1.1 - 2 HR



**4**  
A-4.1  
WALL TYPE: **4**  
STAIR ENCLOSURE WALL  
2 HR FIRE BARRIER U.L. DESIGN NO. U301  
STC RATING - 64 (WITH FURRED WALL)

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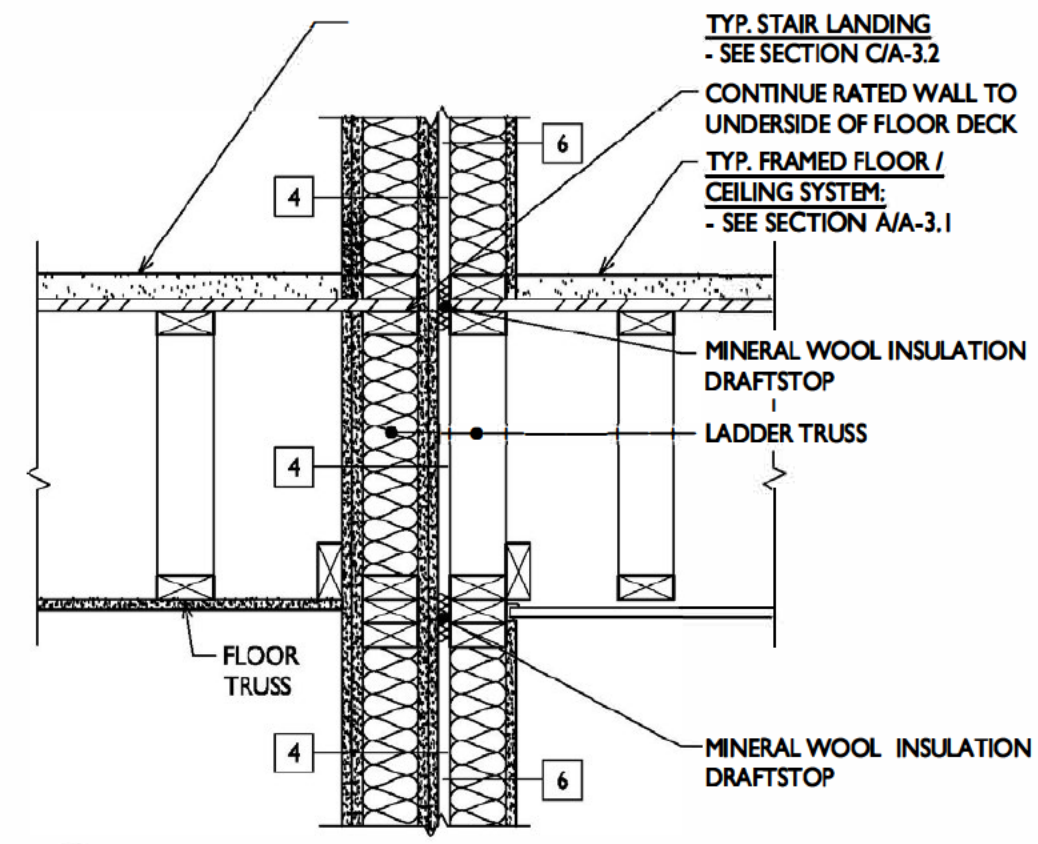
PROJECT TITLE  
Whistling Ridge  
Building #3

108 Whistle Street  
Marshall, WI  
SHEET TITLE  
Wall Types &  
General Notes

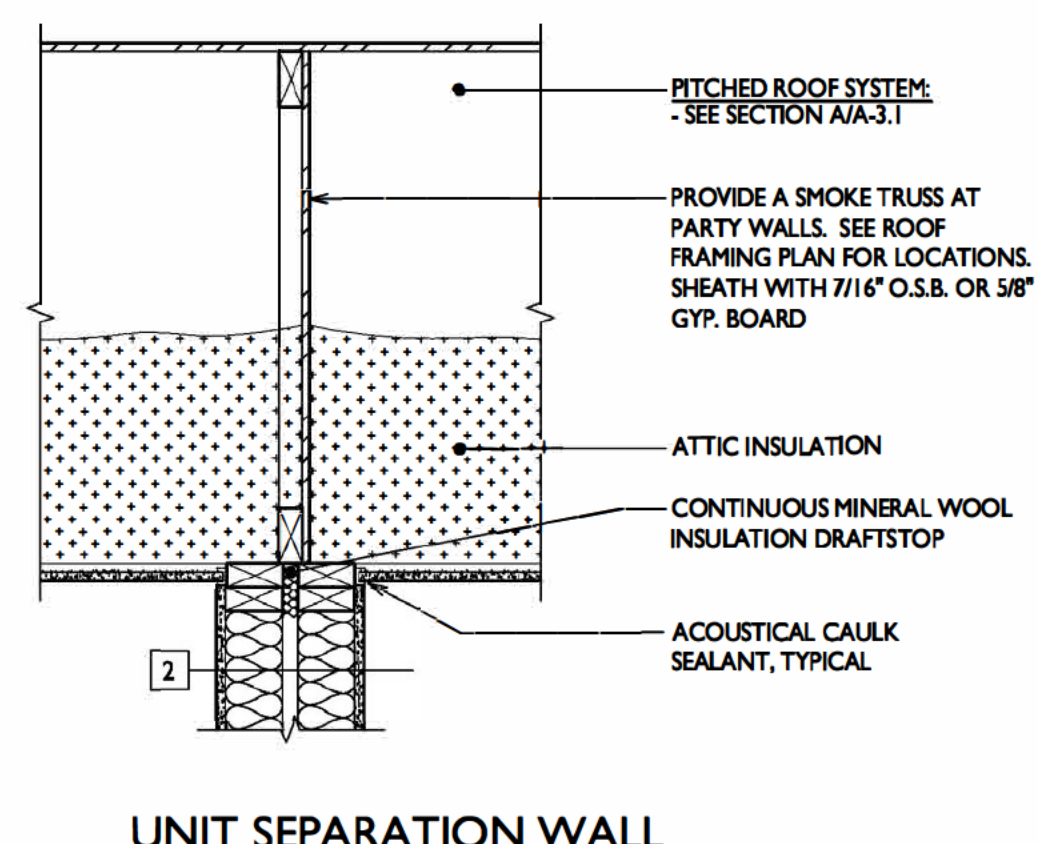
SHEET NUMBER

**A-4.1**

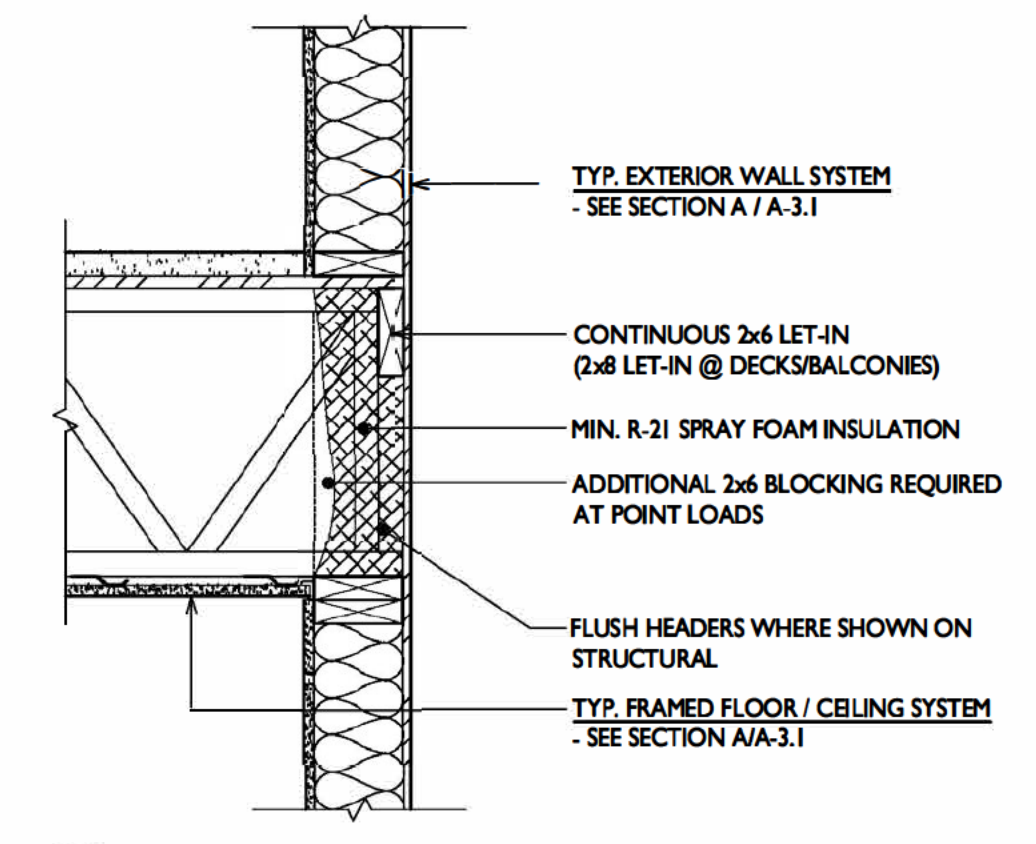
PROJECT NO. 2002  
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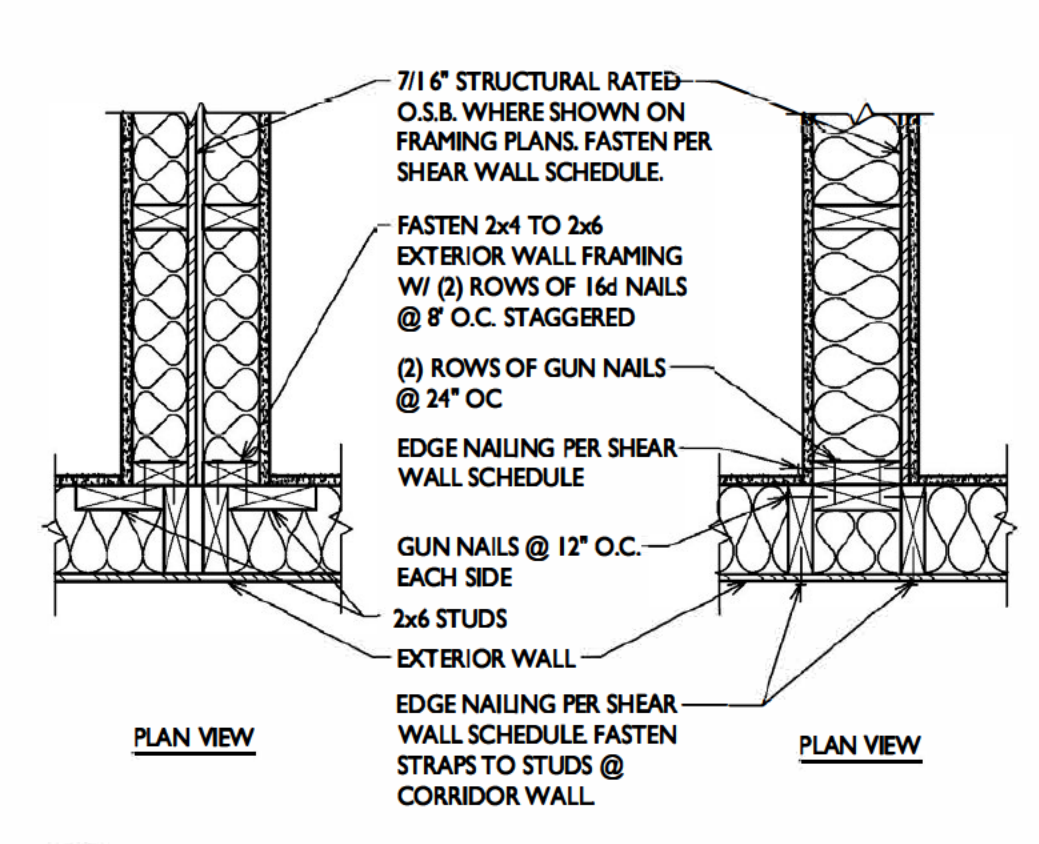
**17 FIRE BARRIER @ FLOOR / CEILING**  
A-4.2 1" = 1'-0"



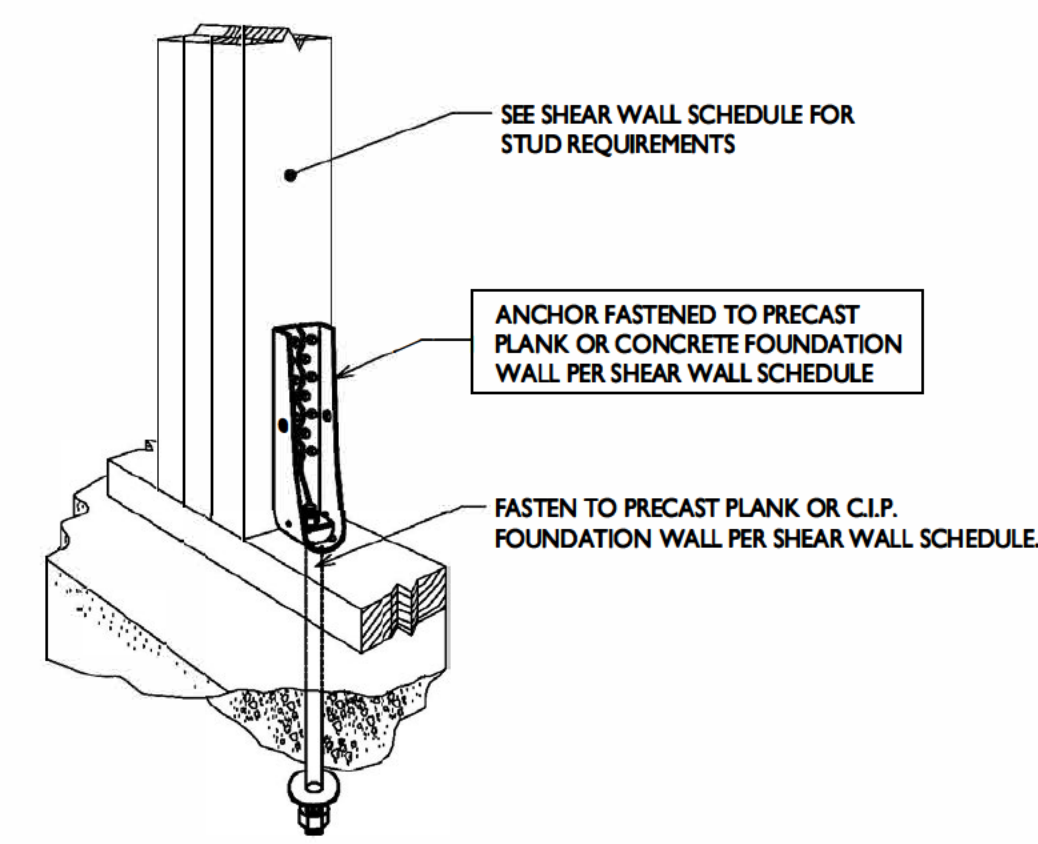
**13 UNIT SEPARATION WALL @ ROOF/CEILING**  
A-4.2 1" = 1'-0"



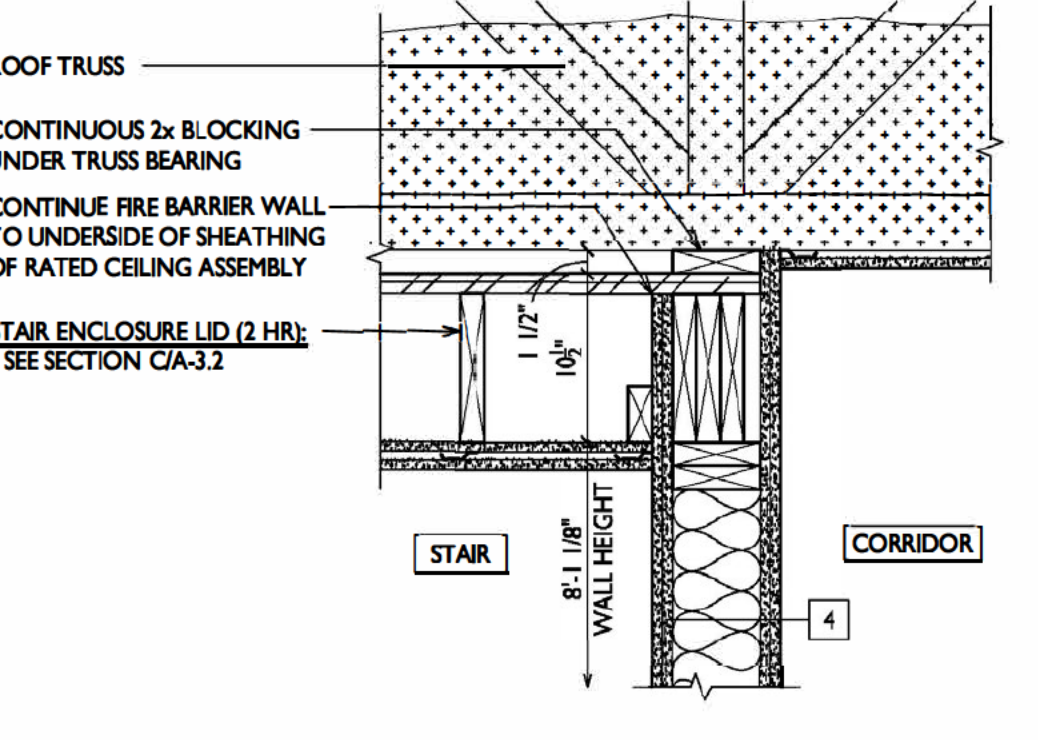
**9 EXTERIOR RIM @ FLOOR TRUSS BEARING**  
A-4.2 1" = 1'-0"



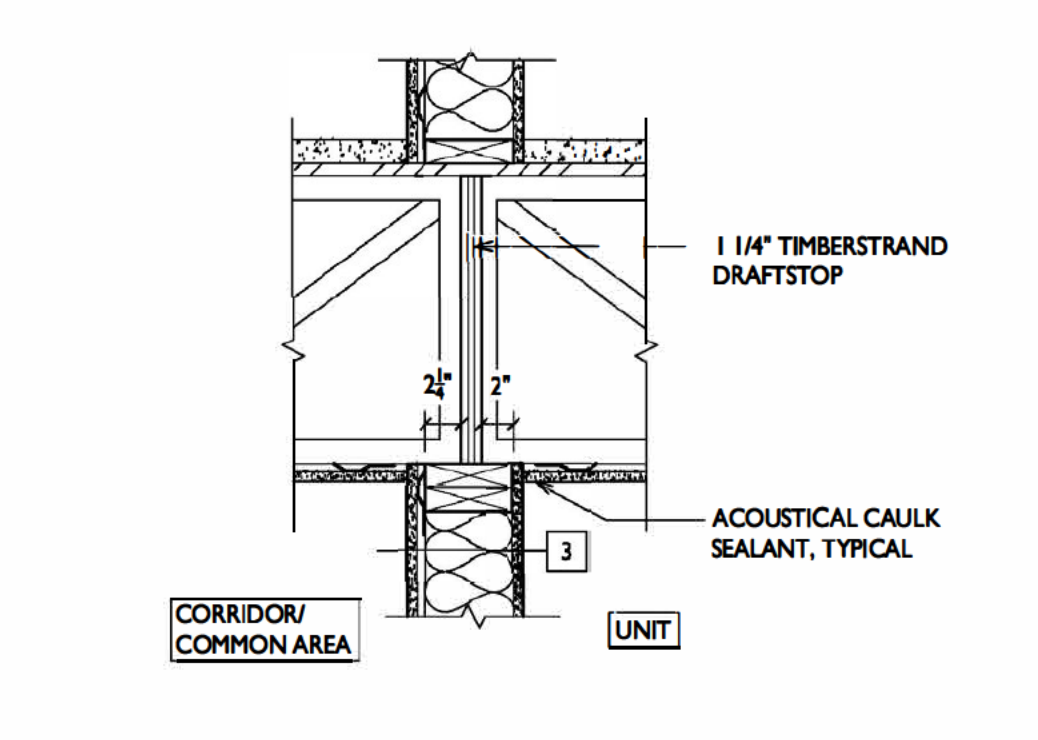
**5 SHEAR WALL TRANSFER @ EXT. WALL**  
A-4.2 N.T.S.



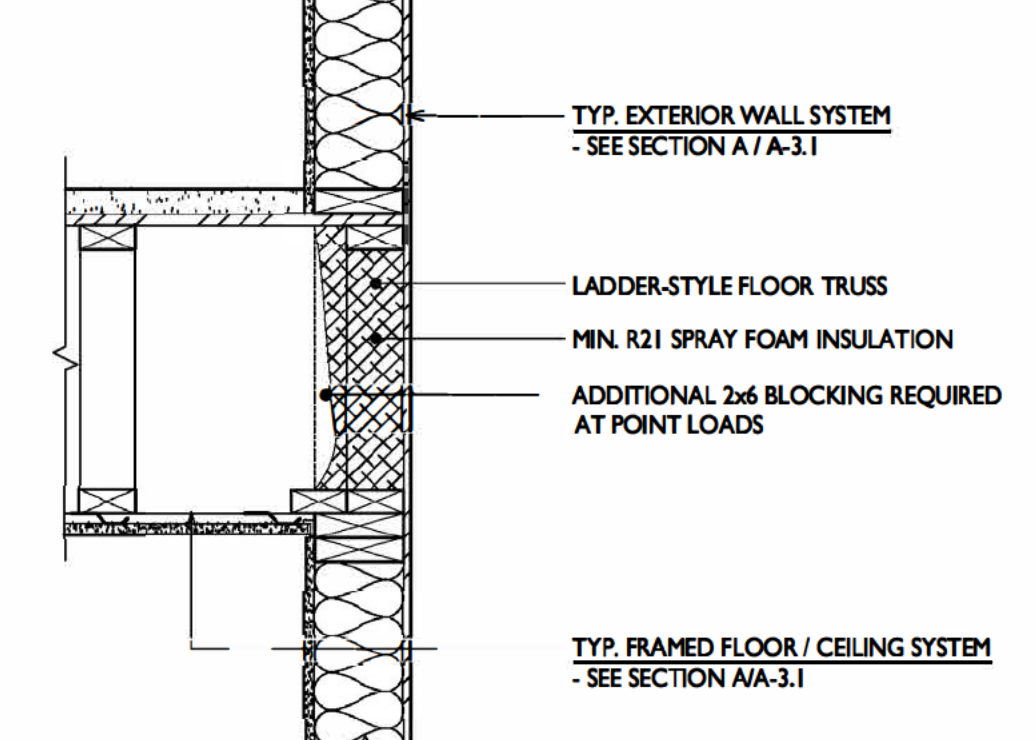
**1 SHEAR WALL HOLDOWN ANCHOR**  
A-4.2 N.T.S.



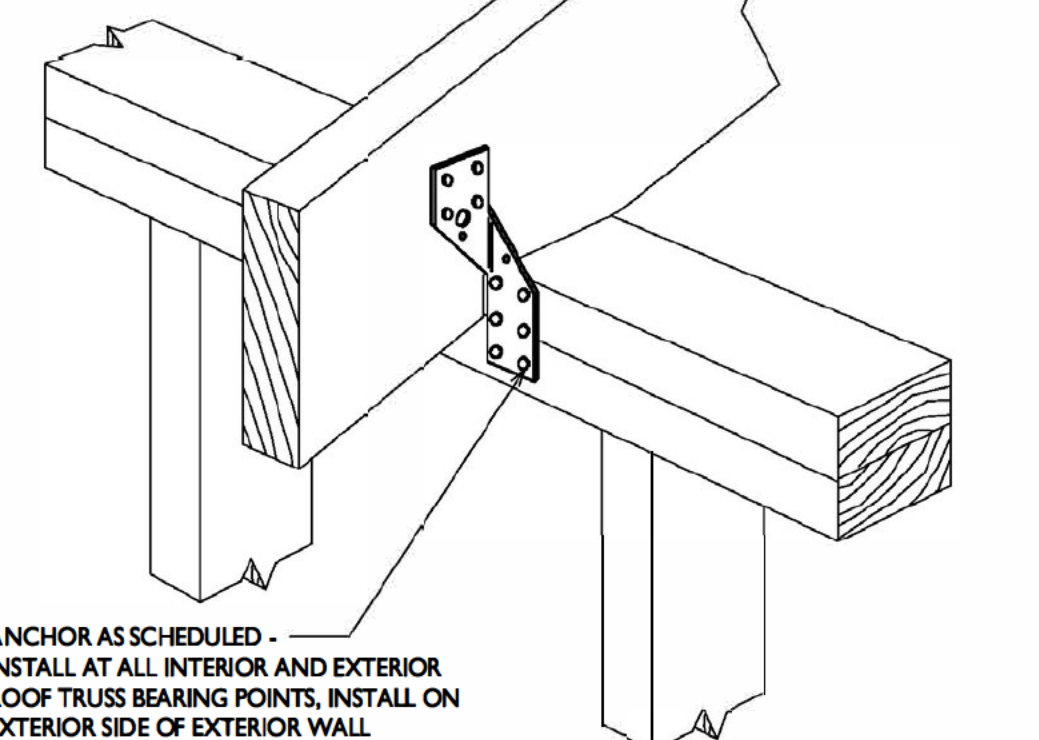
**18 2 HR FIRE BARRIER AT STAIR LID**  
A-4.2 1" = 1'-0"



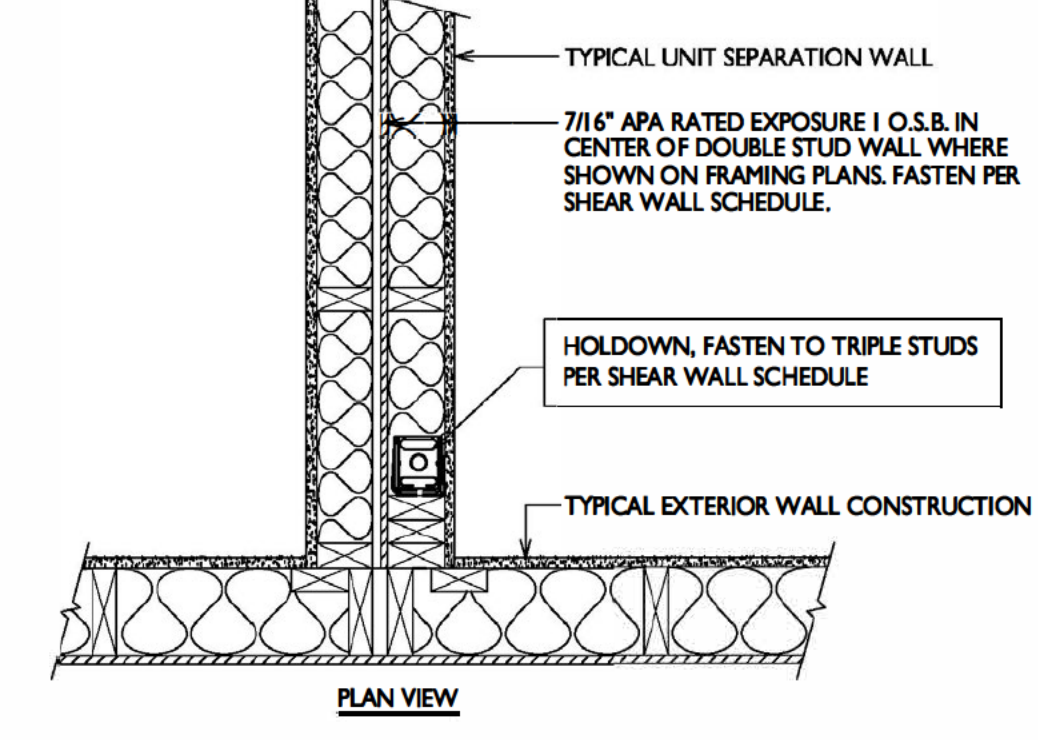
**14 CORRIDOR WALL @ BEARING**  
A-4.2 1" = 1'-0"



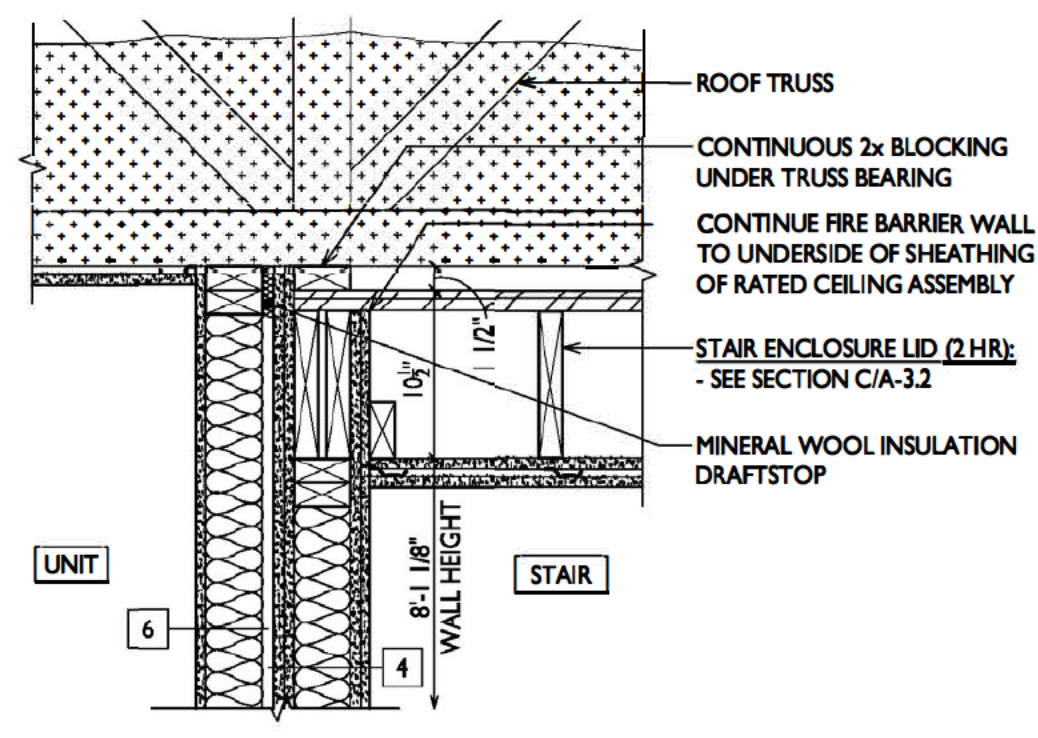
**10 EXTERIOR RIM @ FLOOR LADDER TRUSS**  
A-4.2 1" = 1'-0"



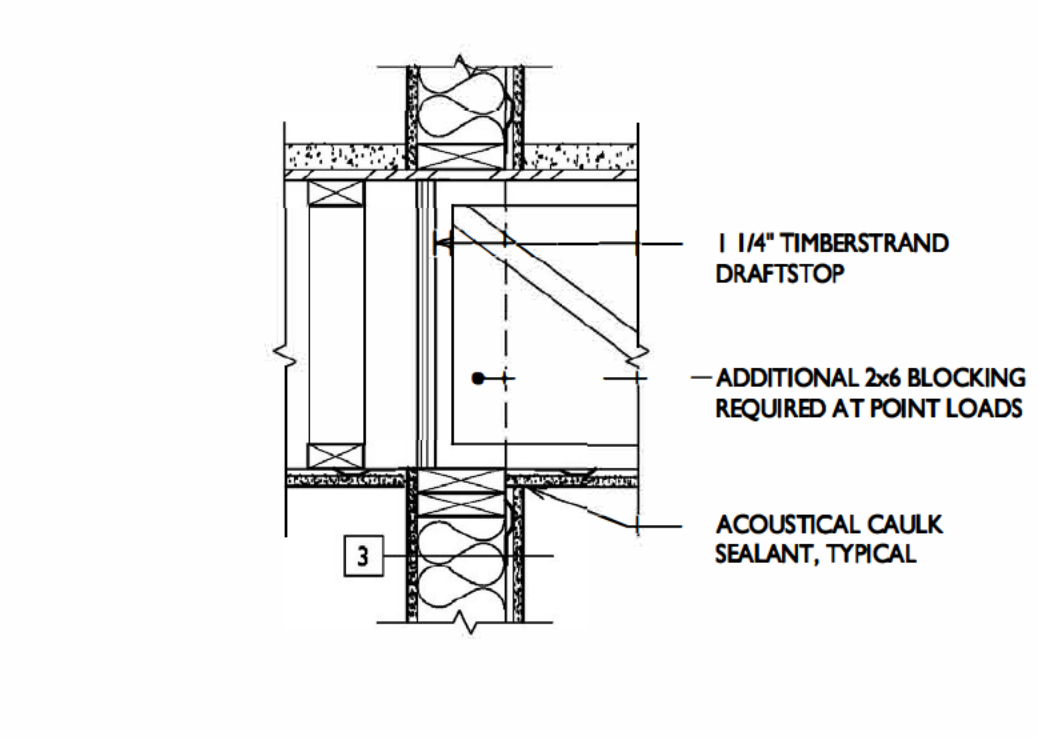
**6 TRUSS ANCHOR**  
A-4.2 N.T.S.



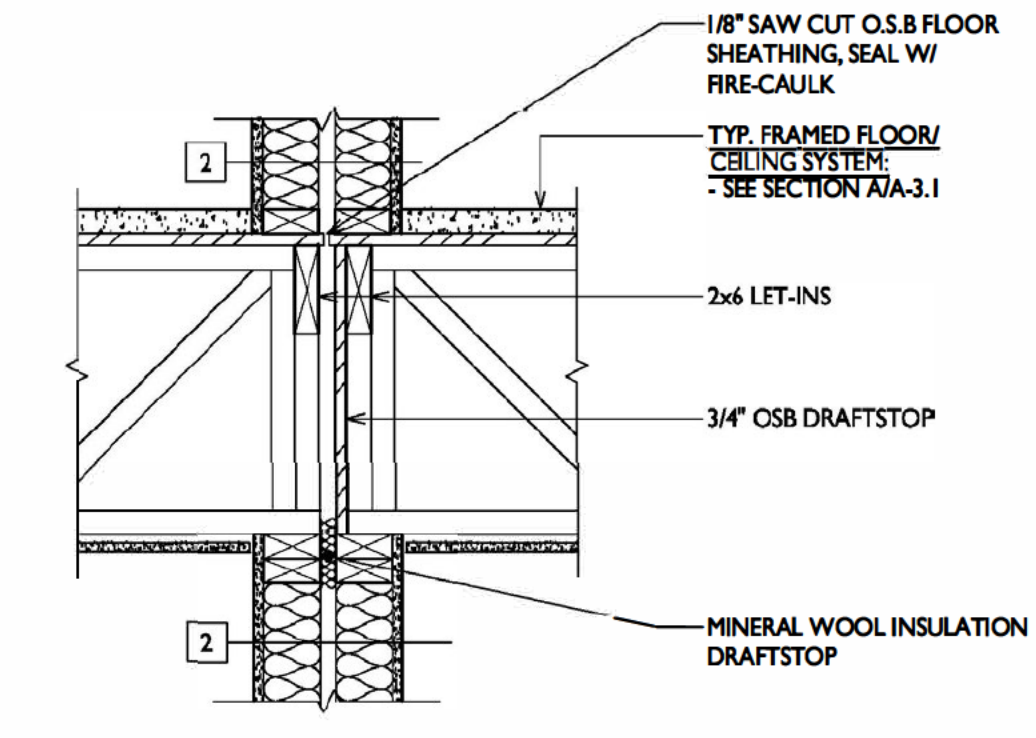
**2 HOLDOWN ANCHOR AT EXTERIOR WALL INTERSECTION**  
A-4.2 N.T.S.



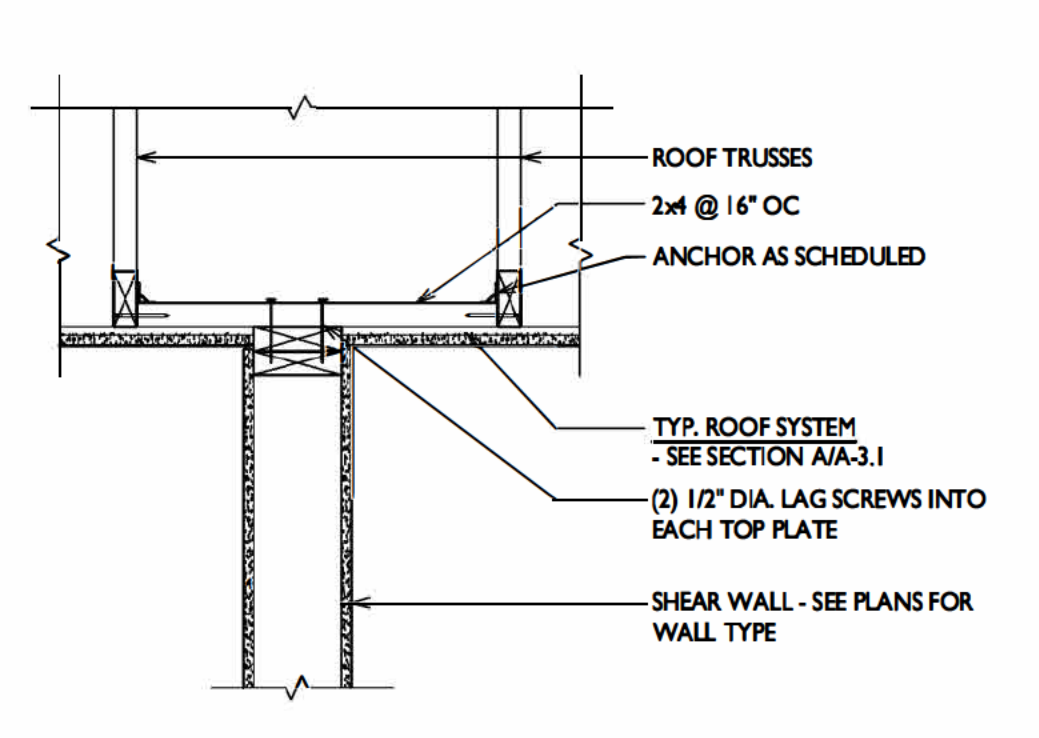
**19 2 HR FIRE BARRIER AT STAIR LID**  
A-4.2 1" = 1'-0"



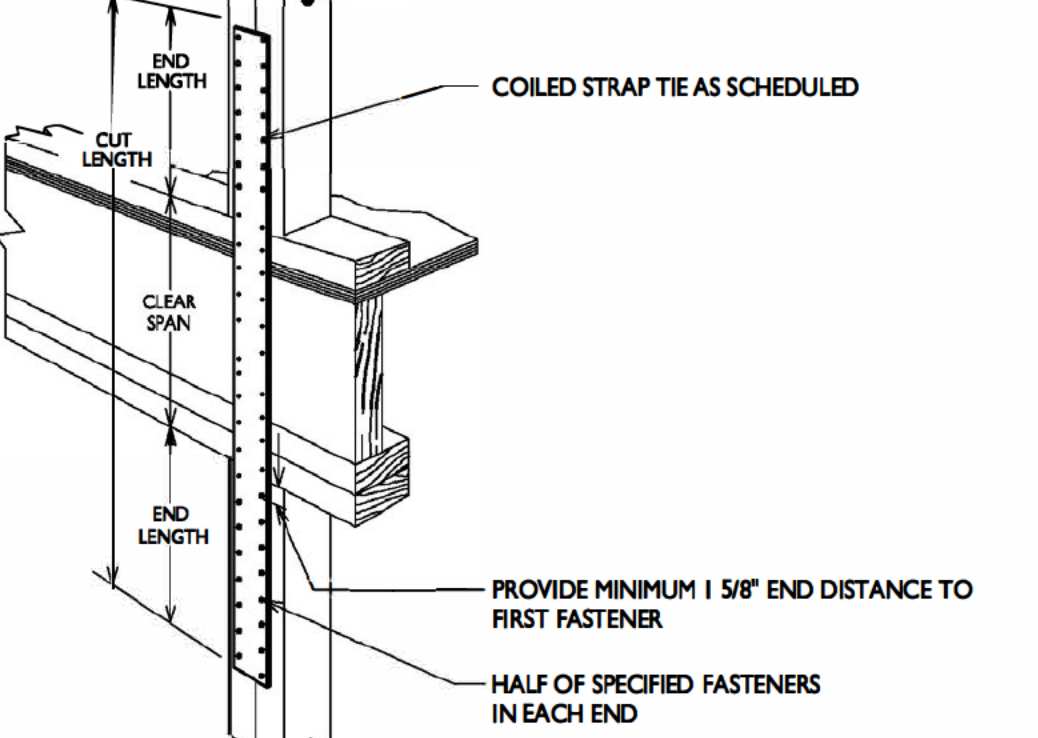
**15 CORRIDOR WALL @ MIXED BEARING**  
A-4.2 1" = 1'-0"



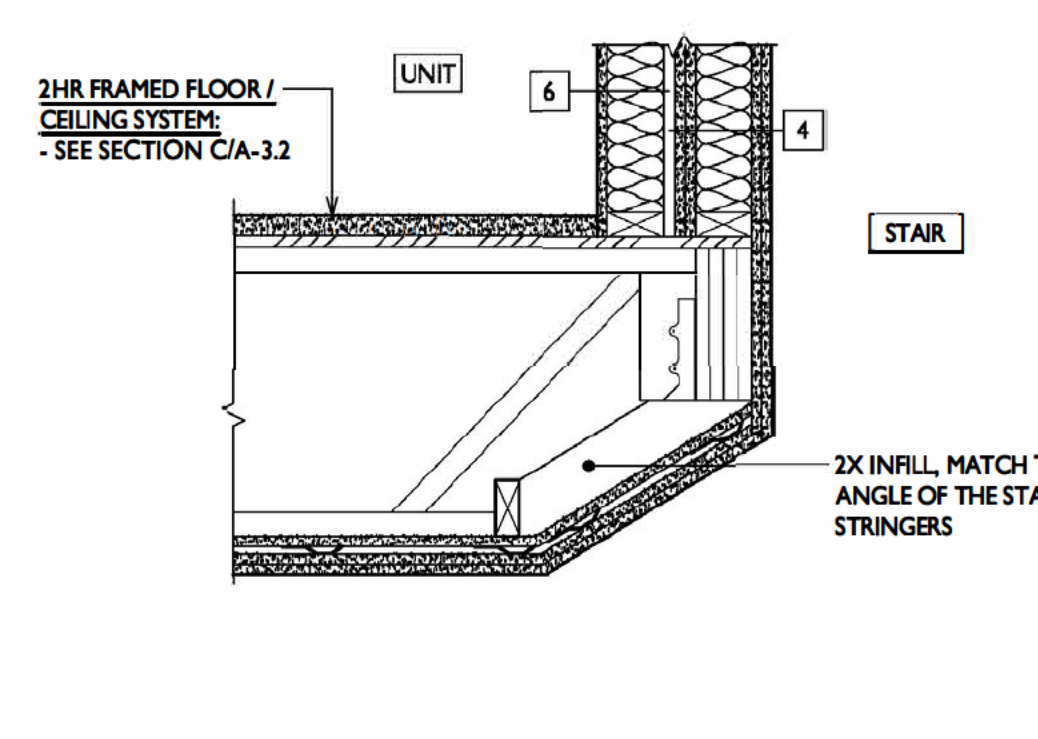
**11 UNIT SEPARATION WALL @ BEARING**  
A-4.2 1" = 1'-0"



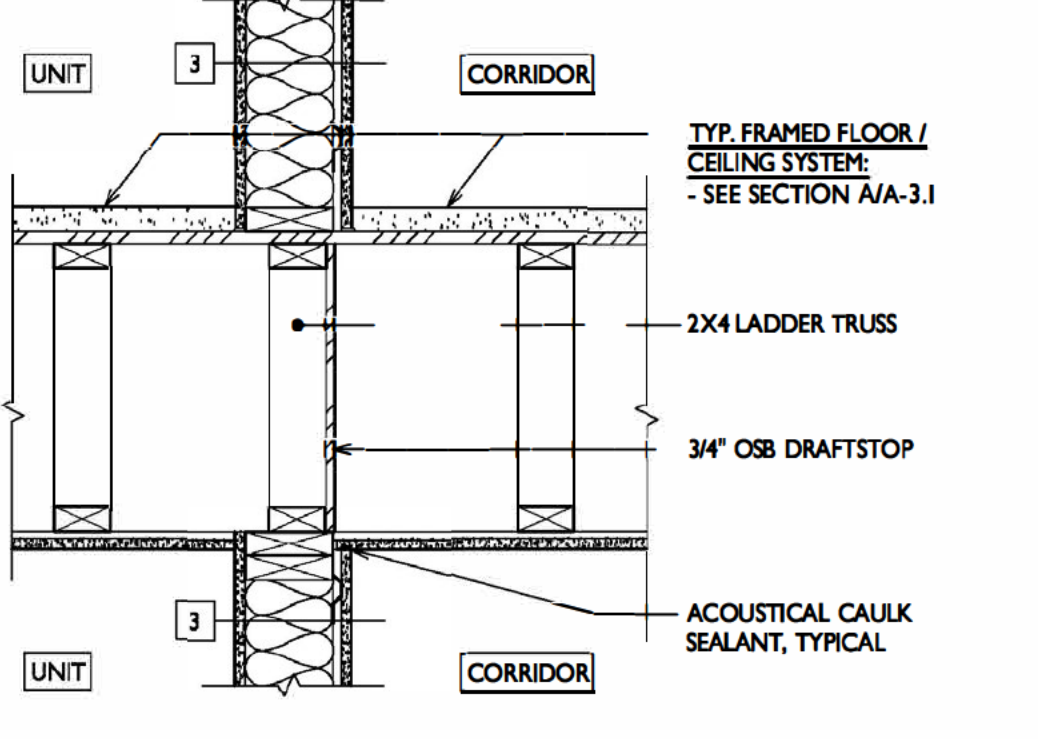
**7 SHEAR WALL CONNECTION TO ROOF**  
A-4.2 N.T.S.



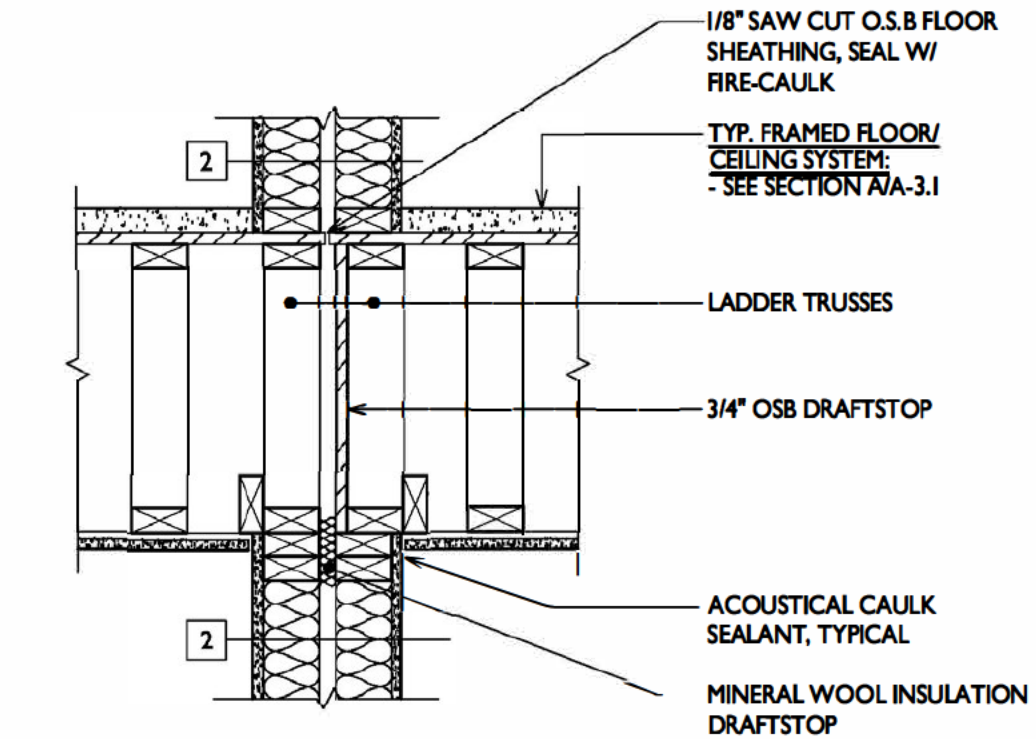
**3 SHEAR WALL STRAP TIE**  
A-4.2 N.T.S.



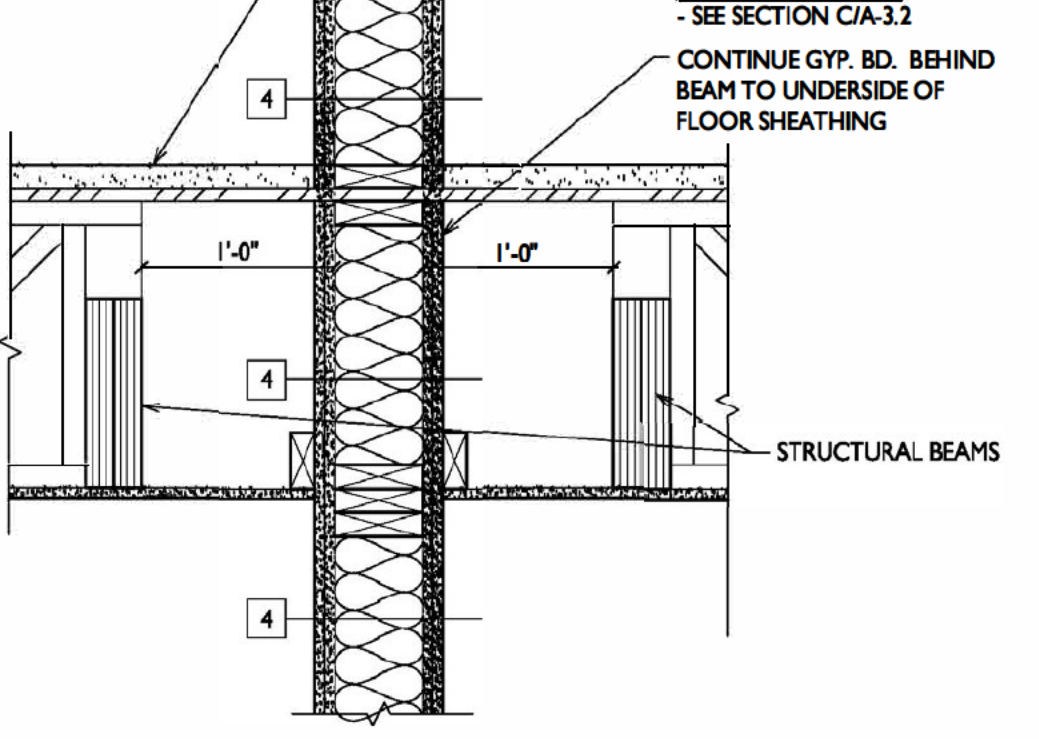
**20 CEILING AT UNIT/STAIR AT THIRD FLOOR**  
A-4.2 1" = 1'-0"



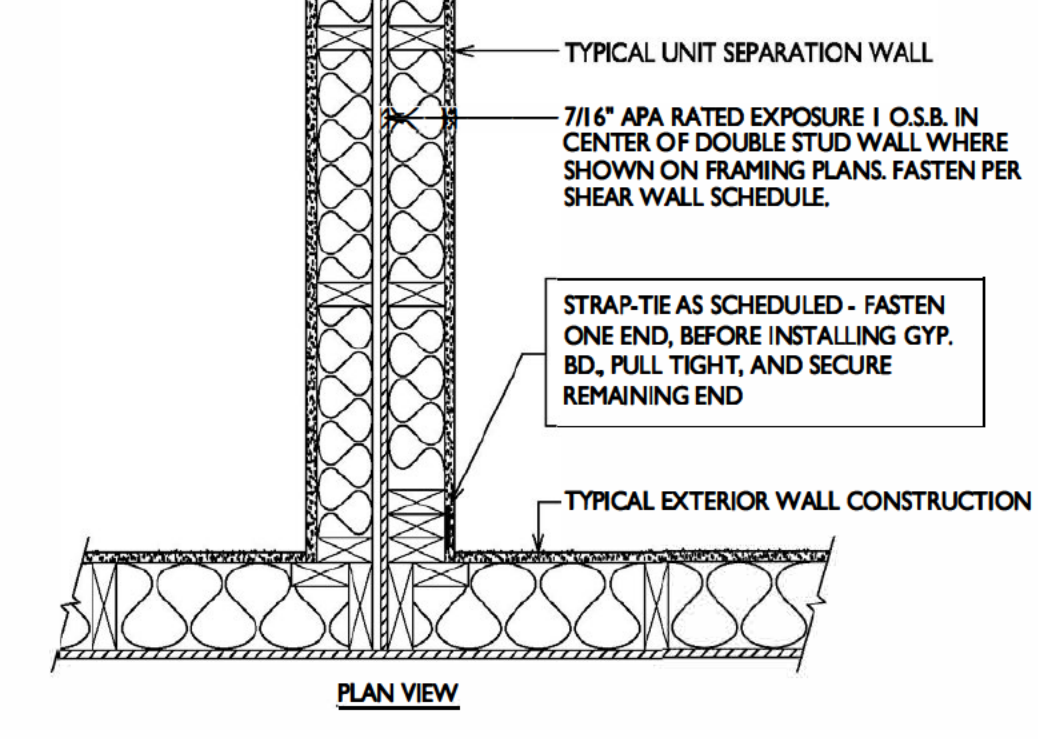
**16 CORRIDOR WALL @ NON-BEARING**  
A-4.2 1" = 1'-0"



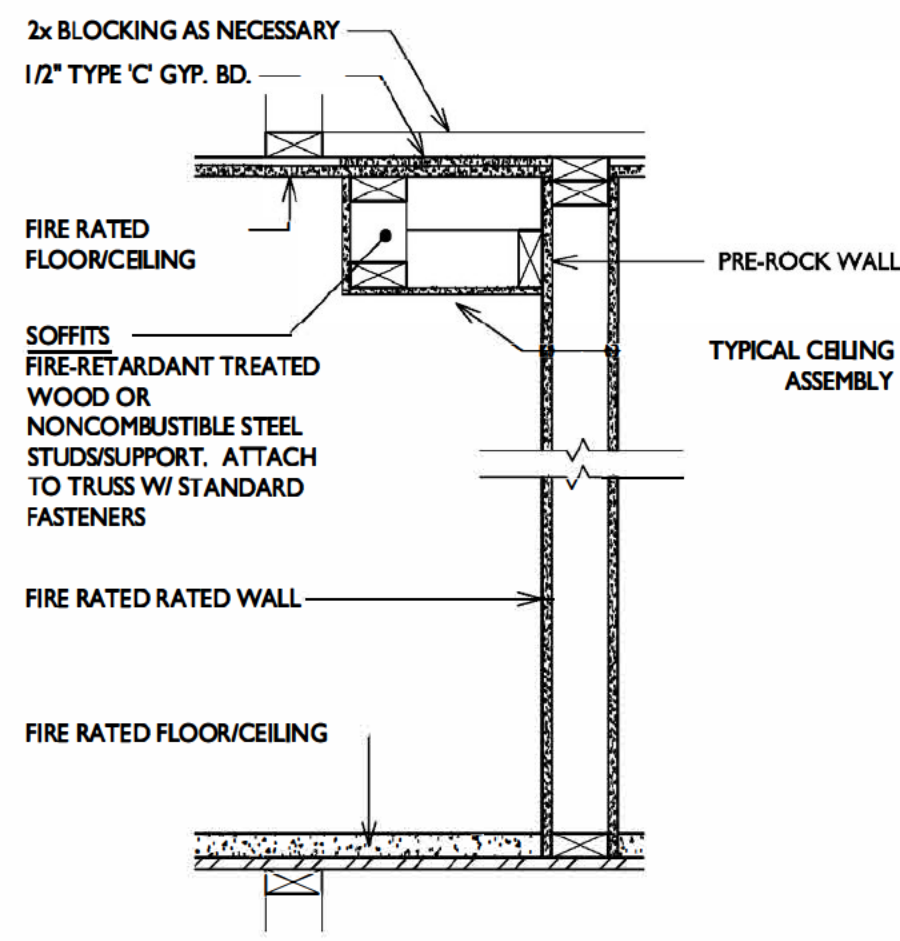
**12 UNIT SEPARATION WALL @ NON-BEARING**  
A-4.2 1" = 1'-0"



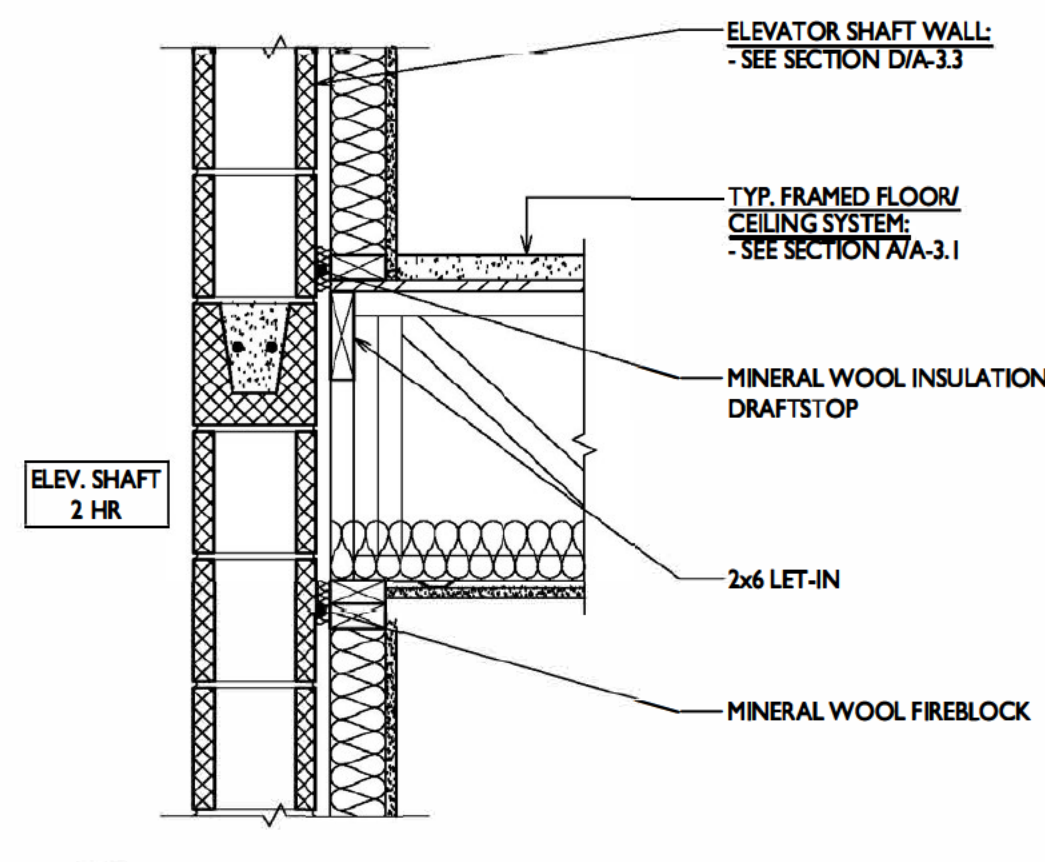
**8 FIRE BARRIER @ CORRIDOR**  
A-4.2 1" = 1'-0"



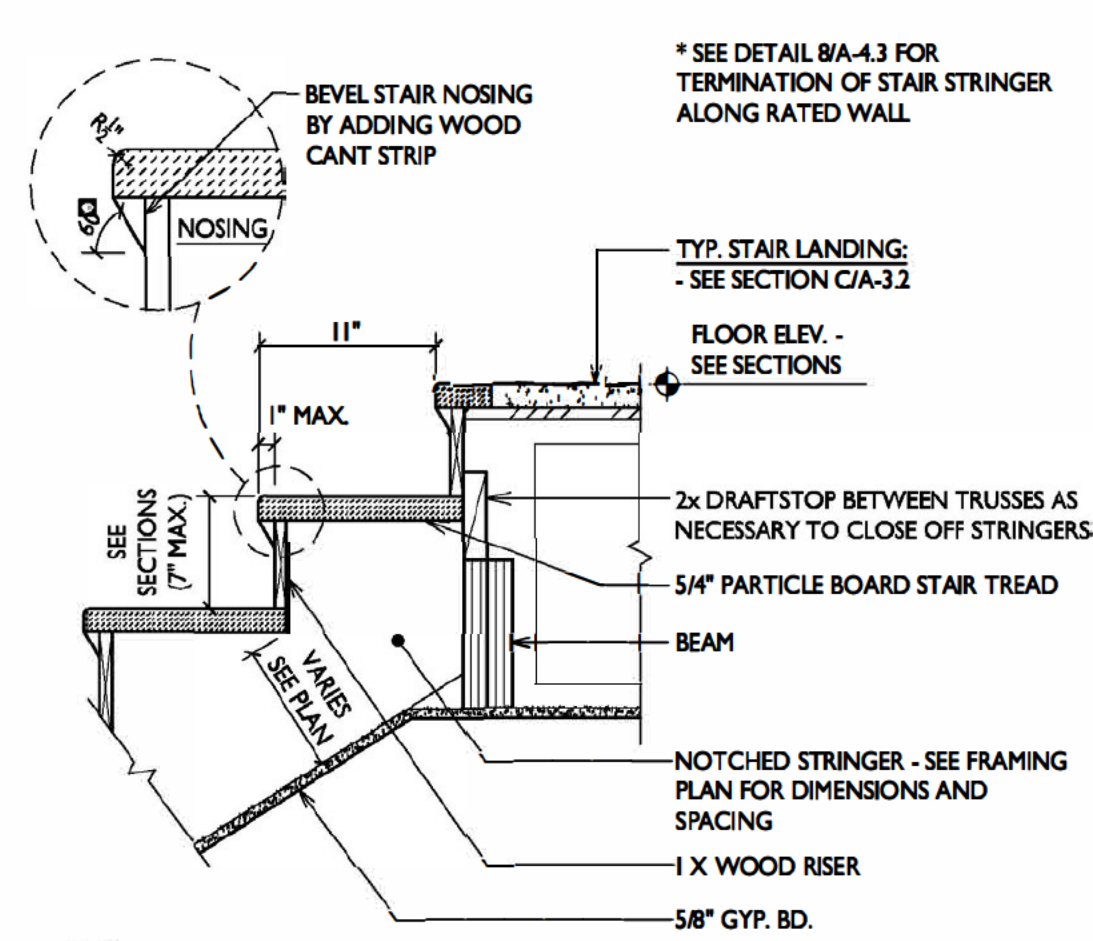
**4 STRAP TIE AT EXTERIOR WALL INTERSECTION**  
A-4.2 N.T.S.



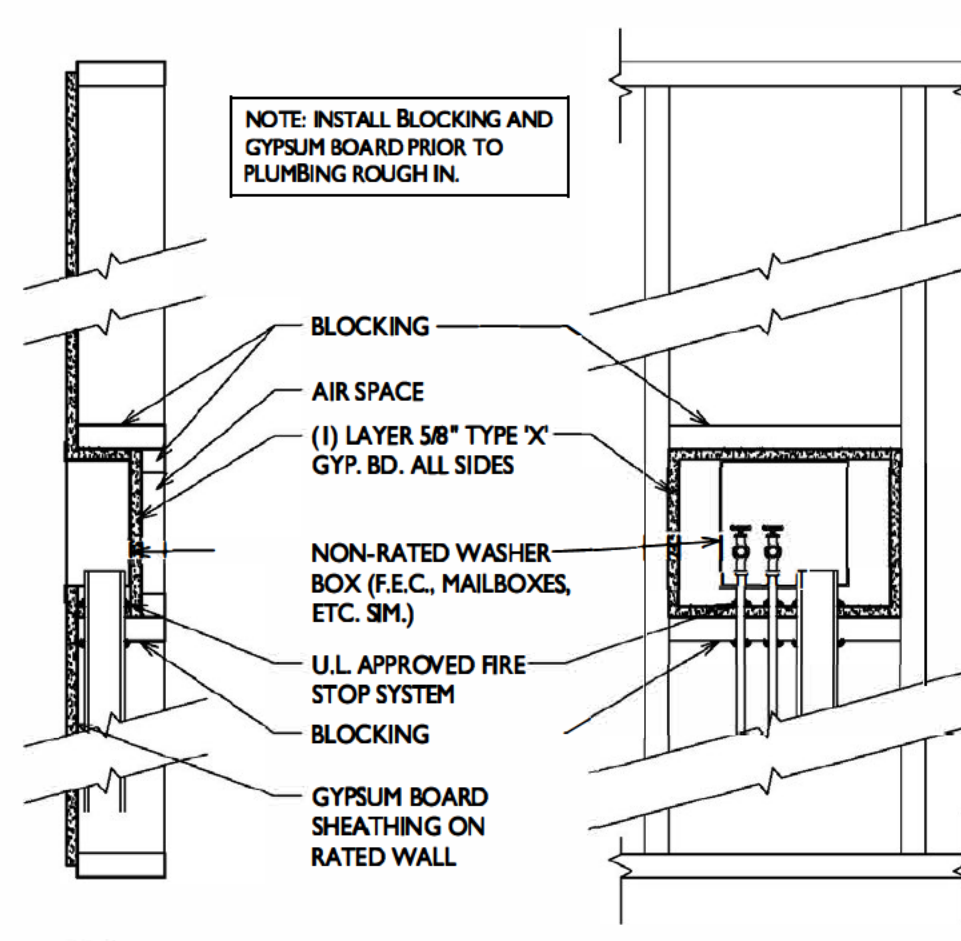
**17** CONCEALED SPACES  
A-4.3 N.T.S.



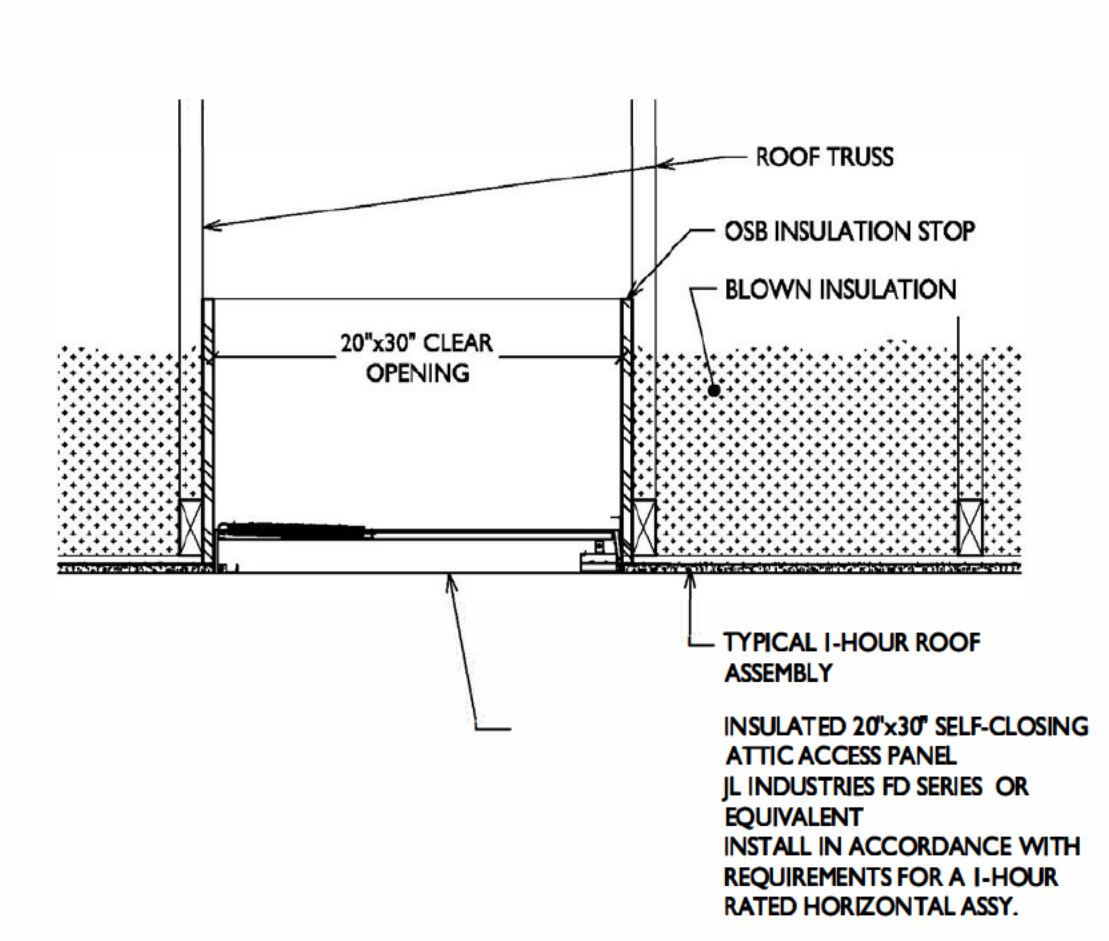
**13** TRUSS BEARING @ ELEV. SHAFT  
A-4.3 1" = 1'-0"



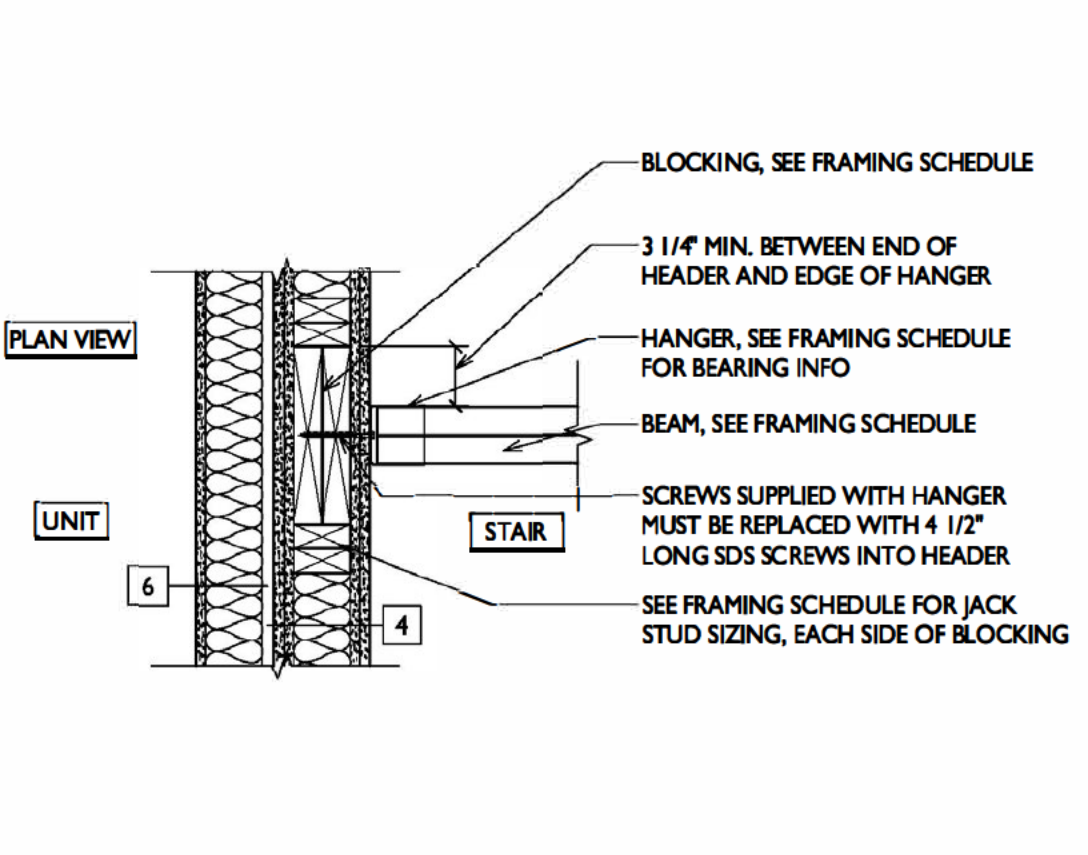
**9** TYP. STAIR CONSTRUCTION  
A-4.3 1" = 1'-0"



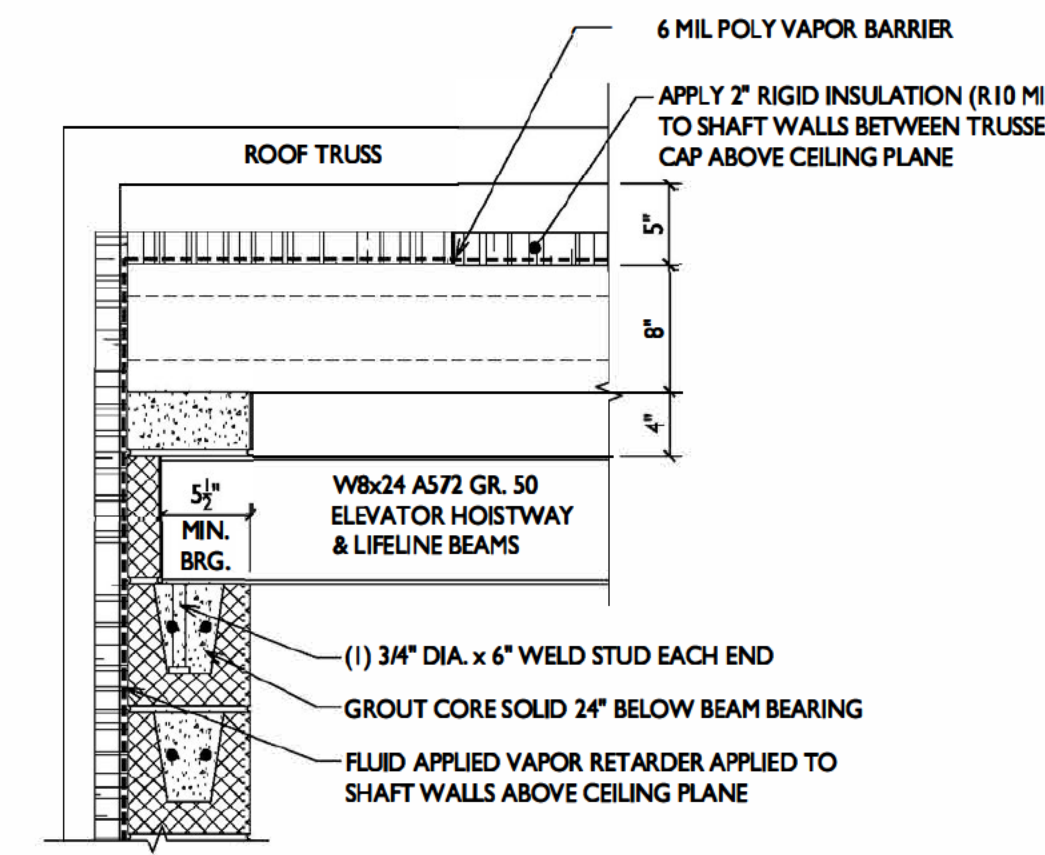
**5** 1 HR RATED @ WALL PENETRATIONS  
A-4.3 1" = 1'-0" INCLUDING WASHER BOXES, FIRE EXTINGUISHER CABINETS, MAILBOXES, ETC.



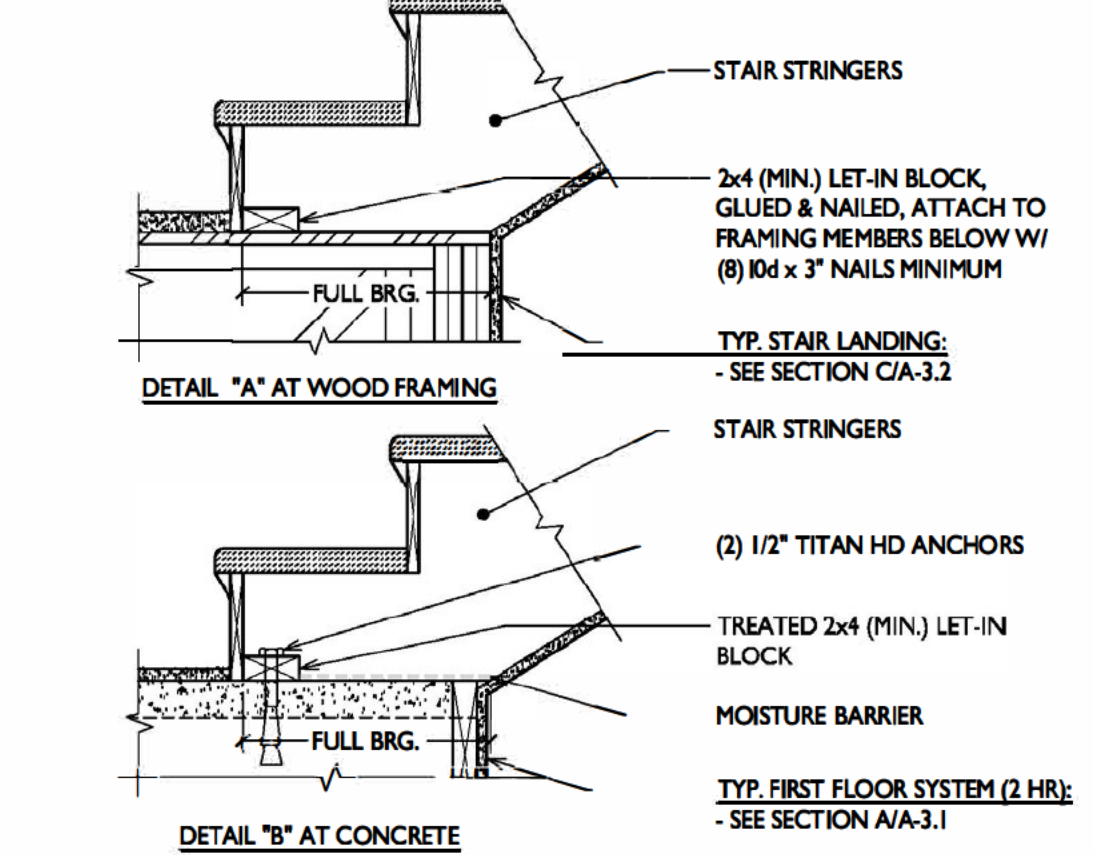
**1** 1 HR ATTIC ACCESS PANEL  
A-4.3 1" = 1'-0"



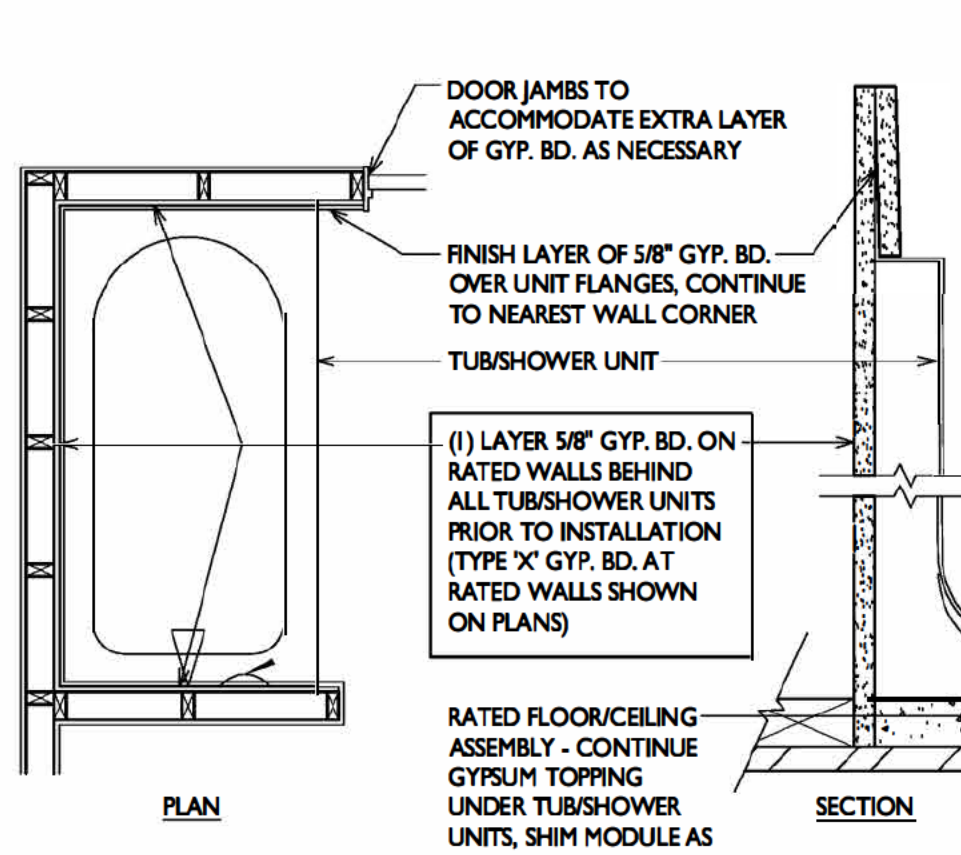
**18** HANGER AT 2 HR FIRE BARRIER  
A-4.3 1" = 1'-0"



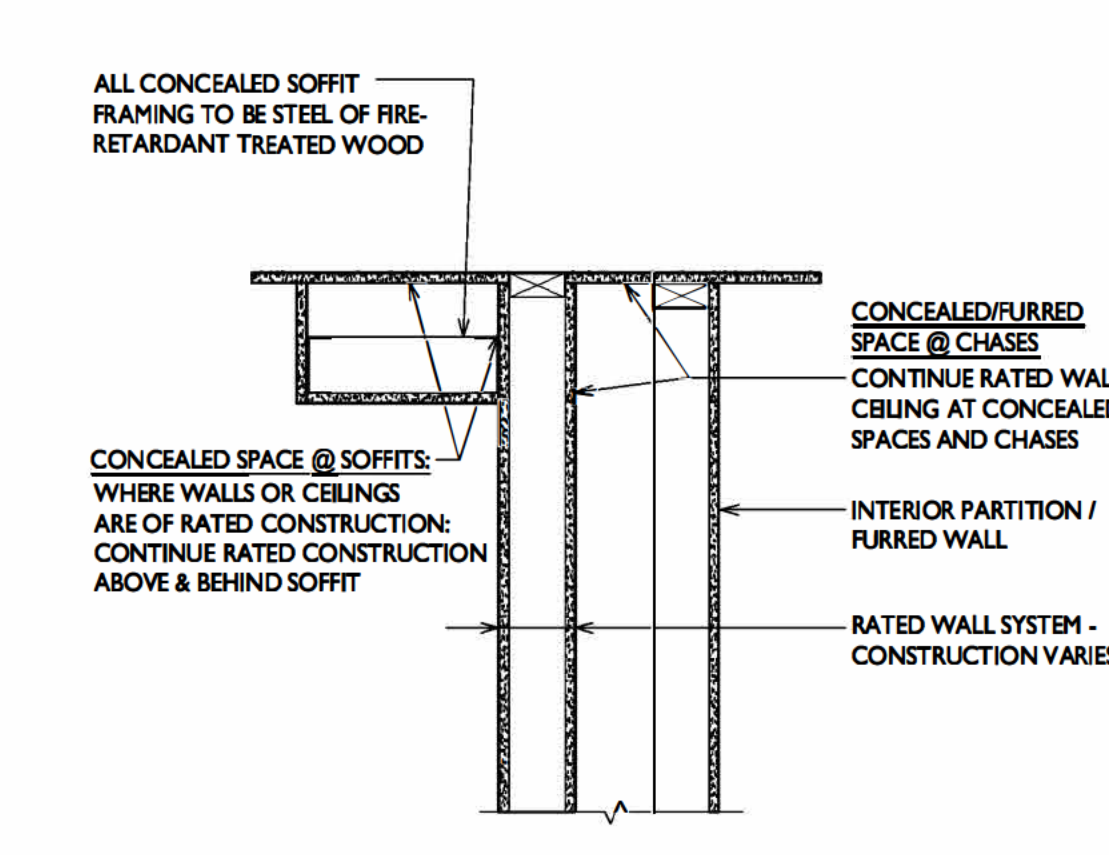
**14** ELEVATOR HOISTWAY / LIFELINE BEAM BEARING  
A-4.3 1" = 1'-0"



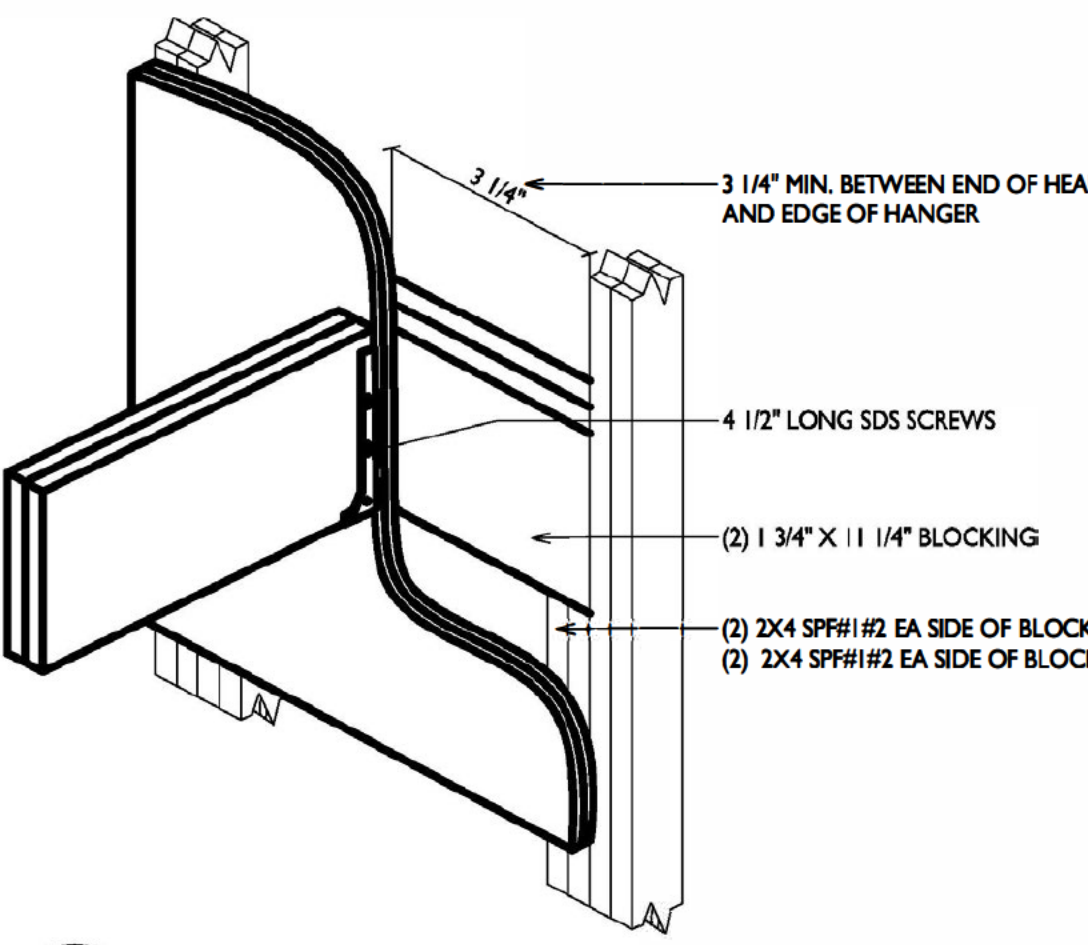
**10** STRINGER TO LANDING CONNECTION  
A-4.3 1" = 1'-0"



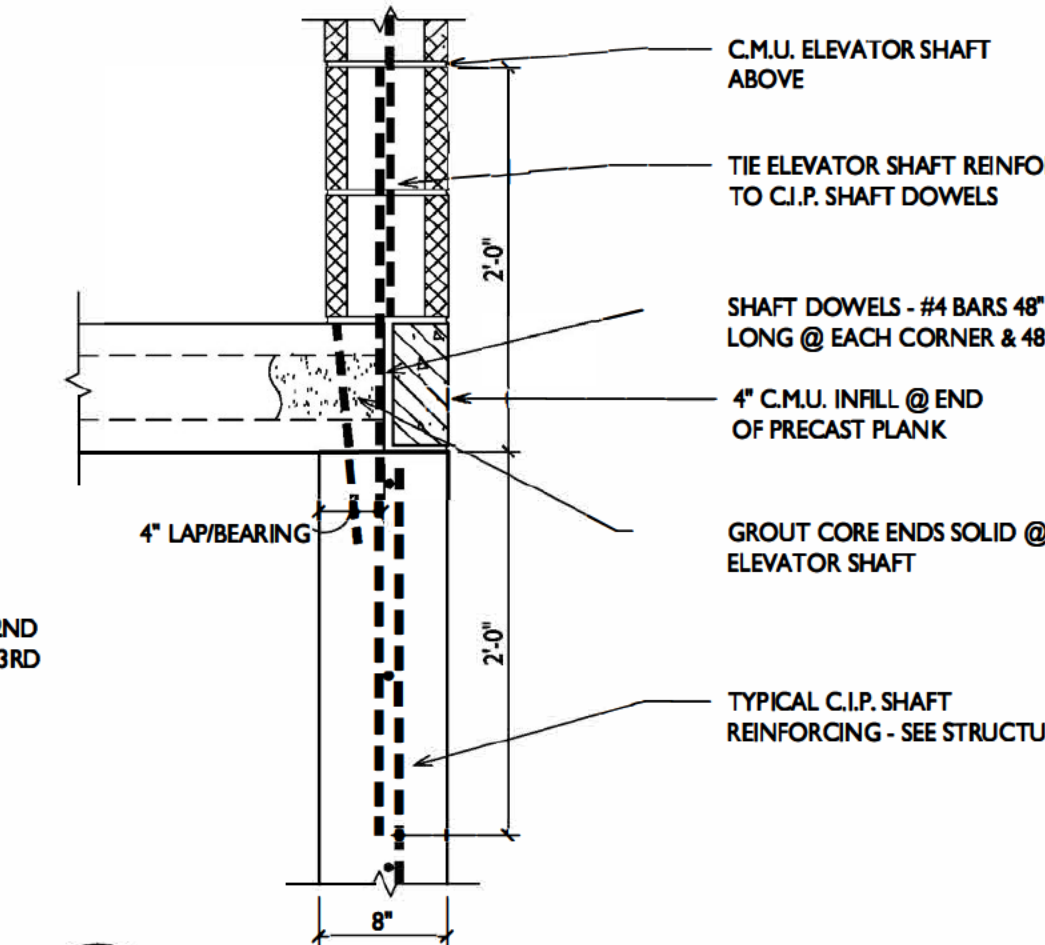
**6** GYP. BD. @ ALL BATHTUBS/SHOWERS  
A-4.3 N.T.S.



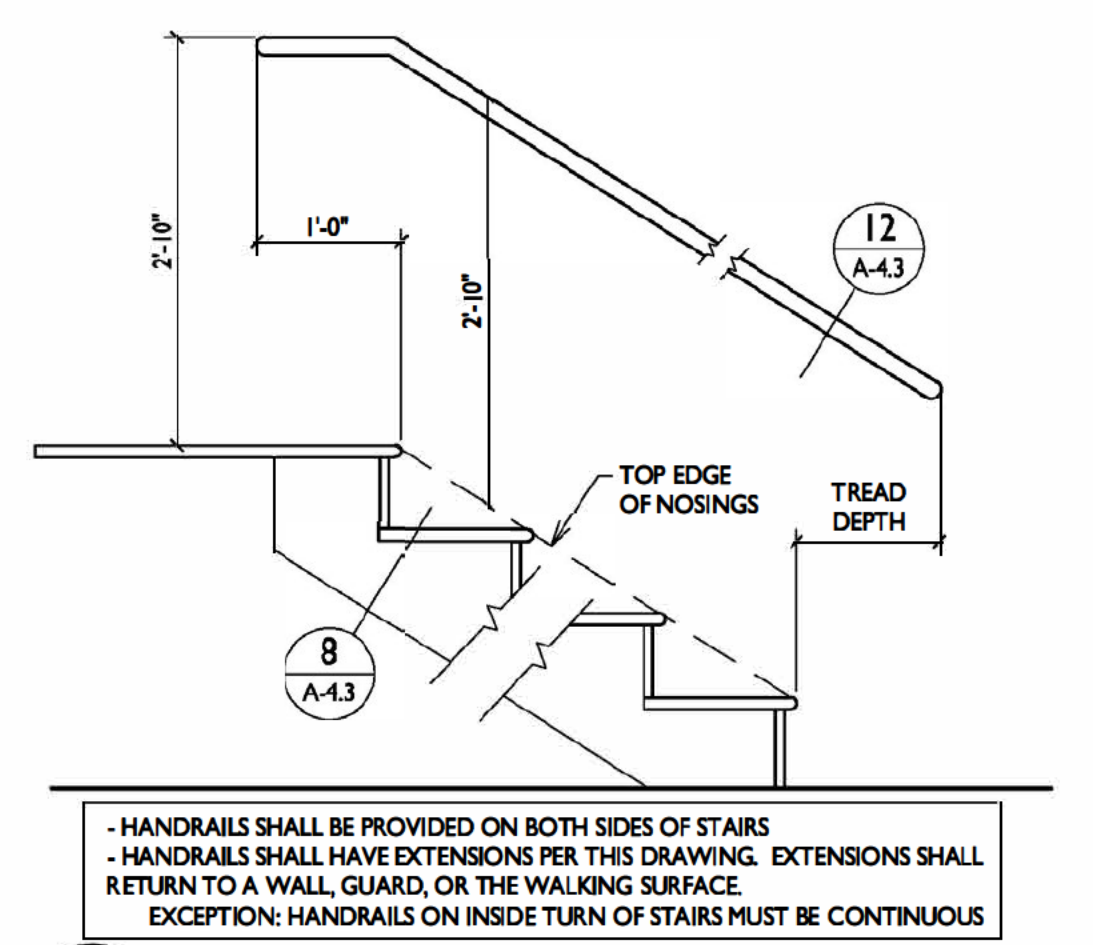
**2** CONCEALED SPACES  
A-4.3 N.T.S.



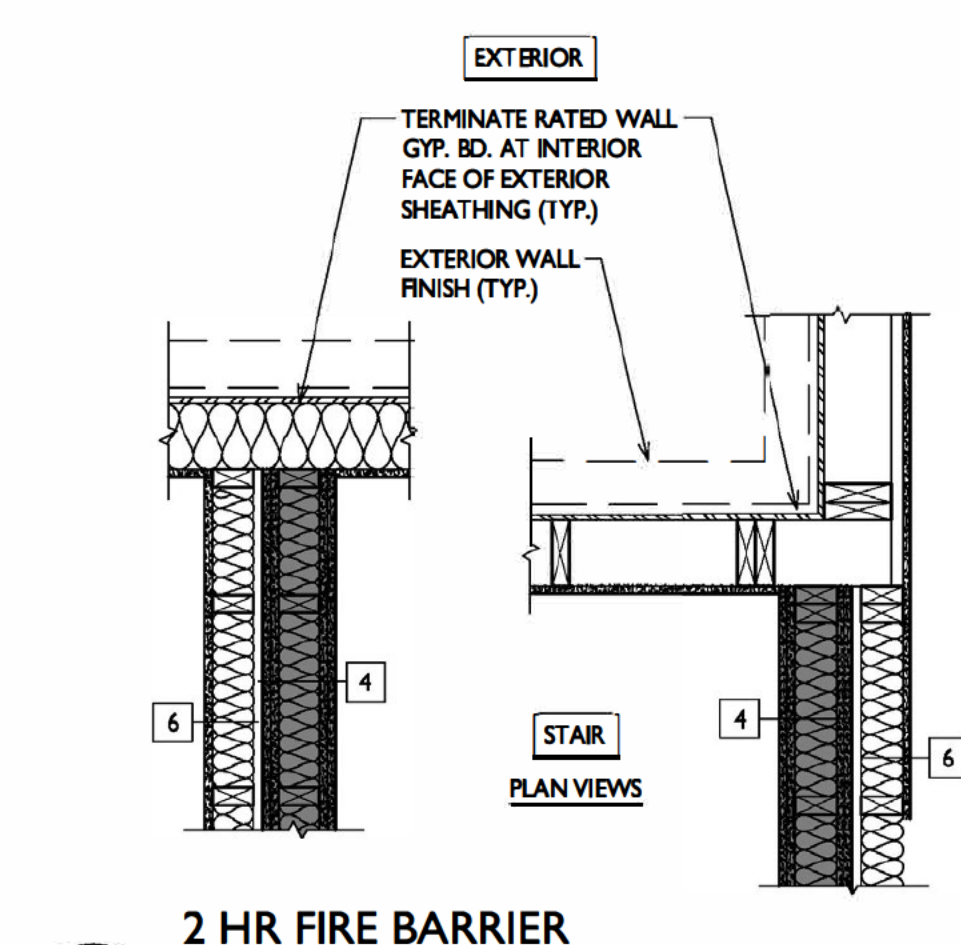
**19** FIRE HANGER  
A-4.3 1" = 1'-0"



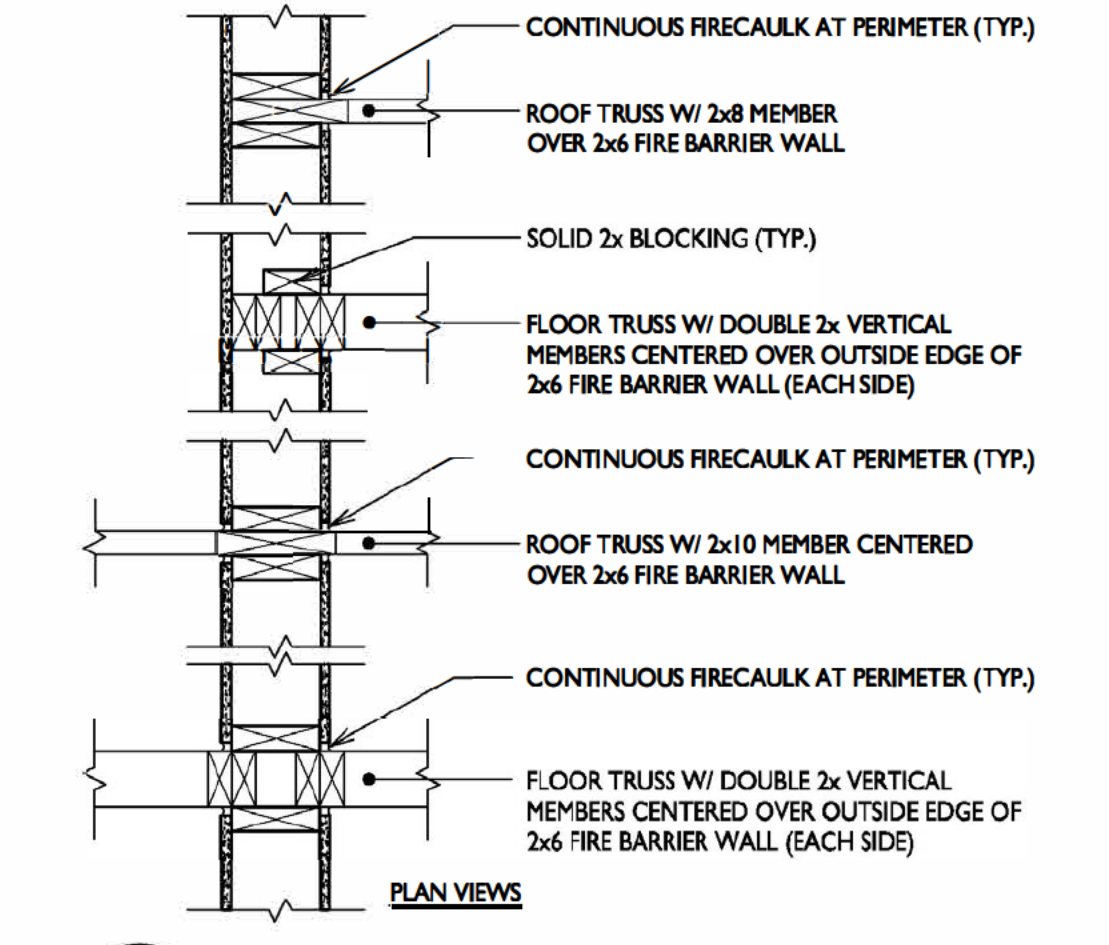
**15** PRECAST INTERSECT @ ELEV. SHAFT  
A-4.3 1" = 1'-0"



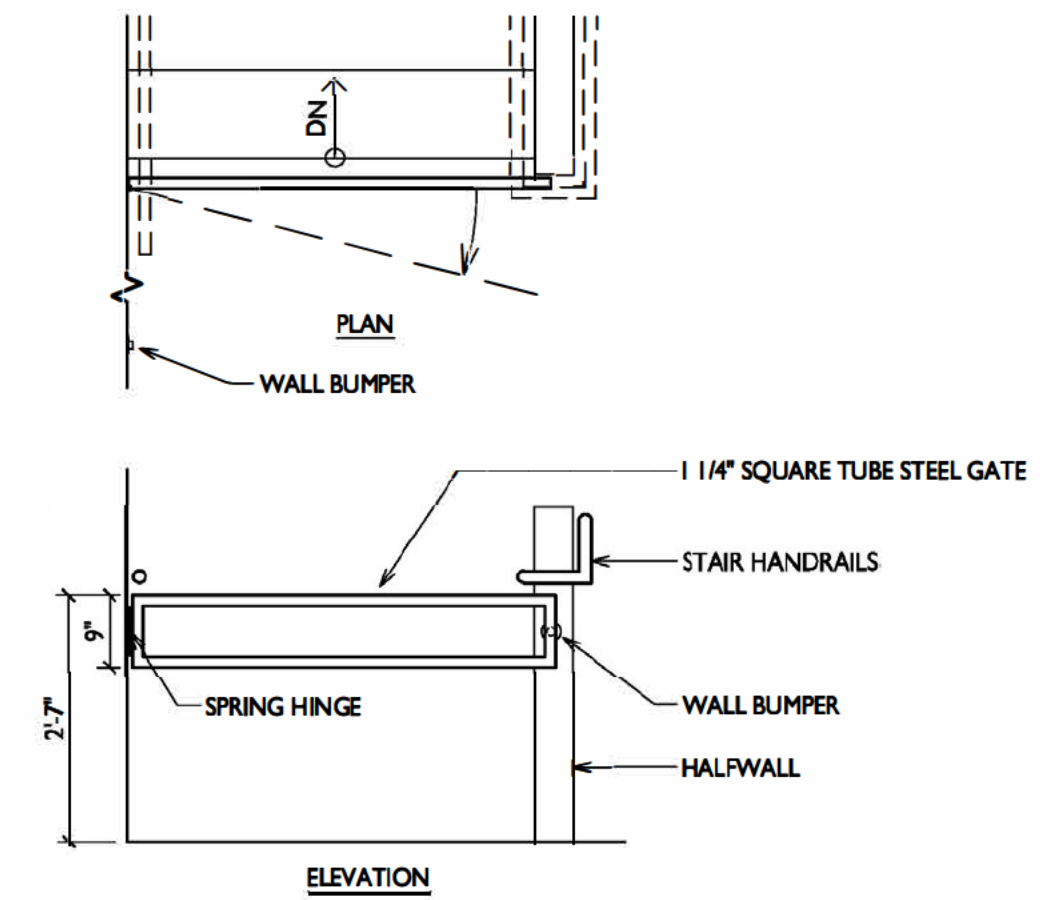
**11** TYP. STAIR HANDRAILS  
A-4.3 3/4" = 1'-0"



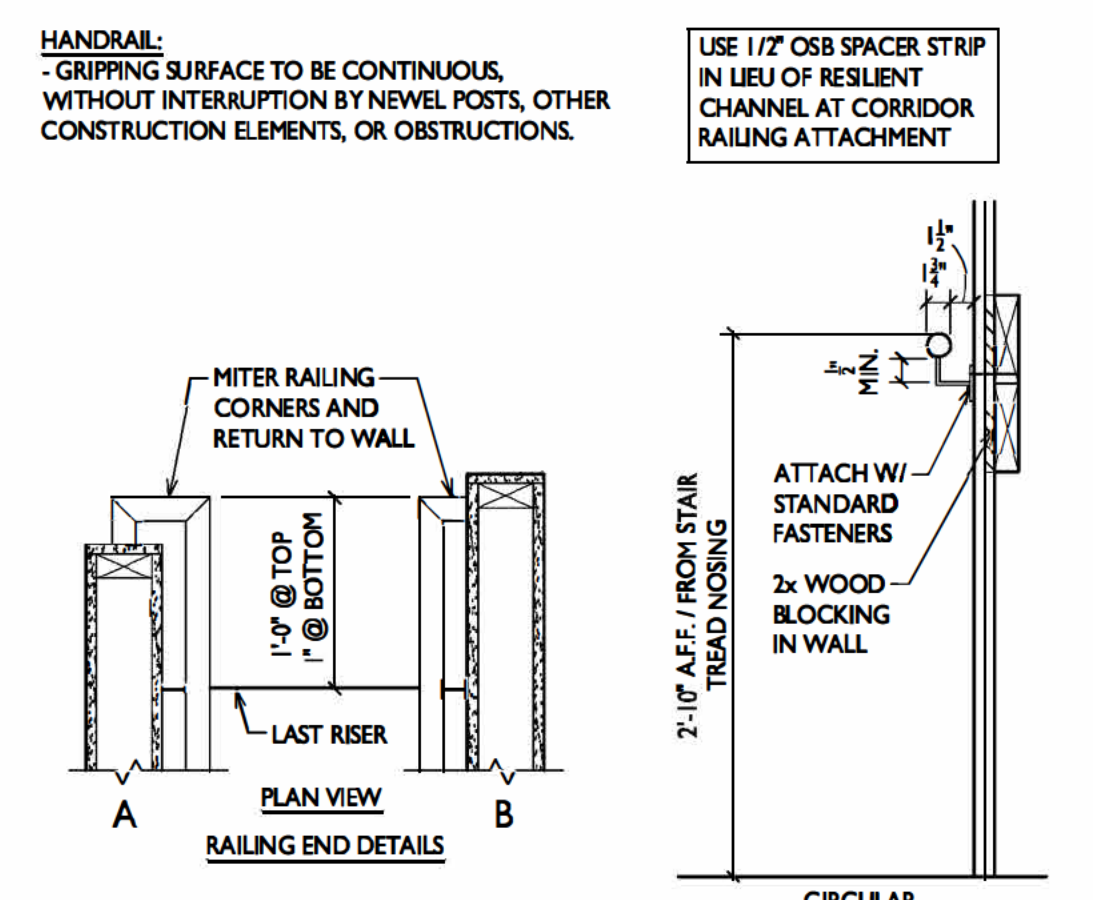
**7** 2 HR FIRE BARRIER TERMINATIONS @ EXTERIOR WALL  
A-4.3 3/4" = 1'-0"



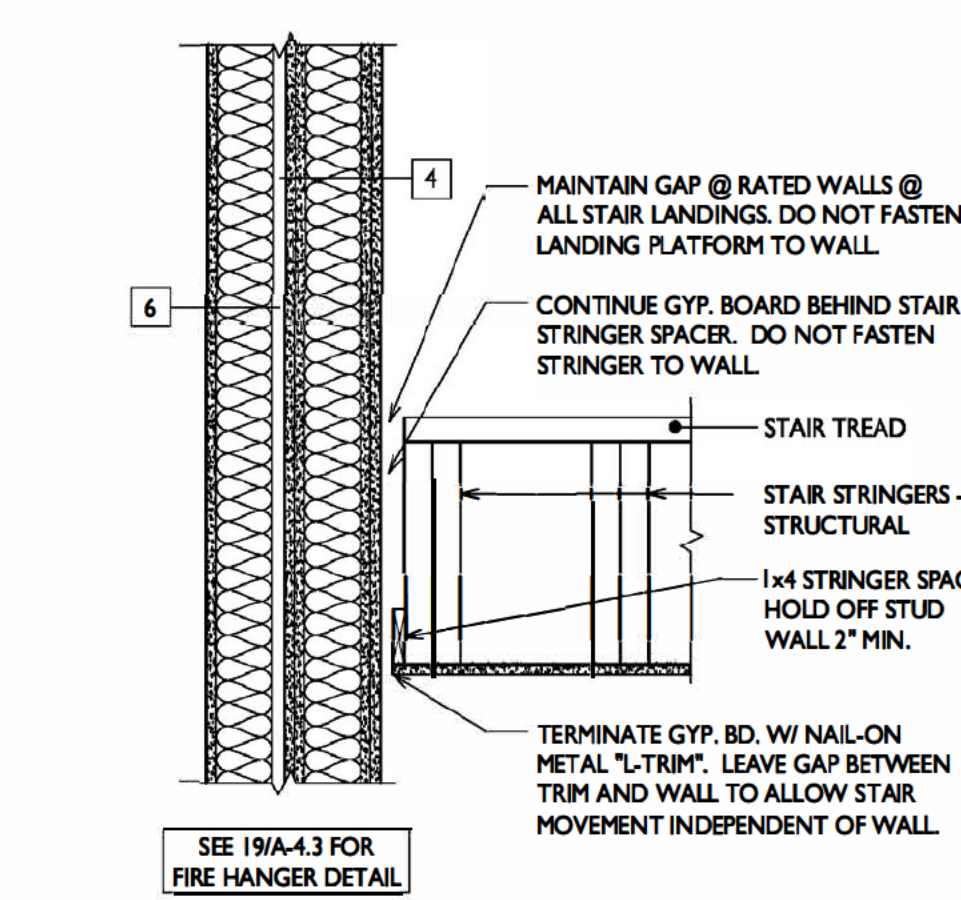
**3** TRUSS PENETRATION OF FIRE BARRIER  
A-4.3 1" = 1'-0"



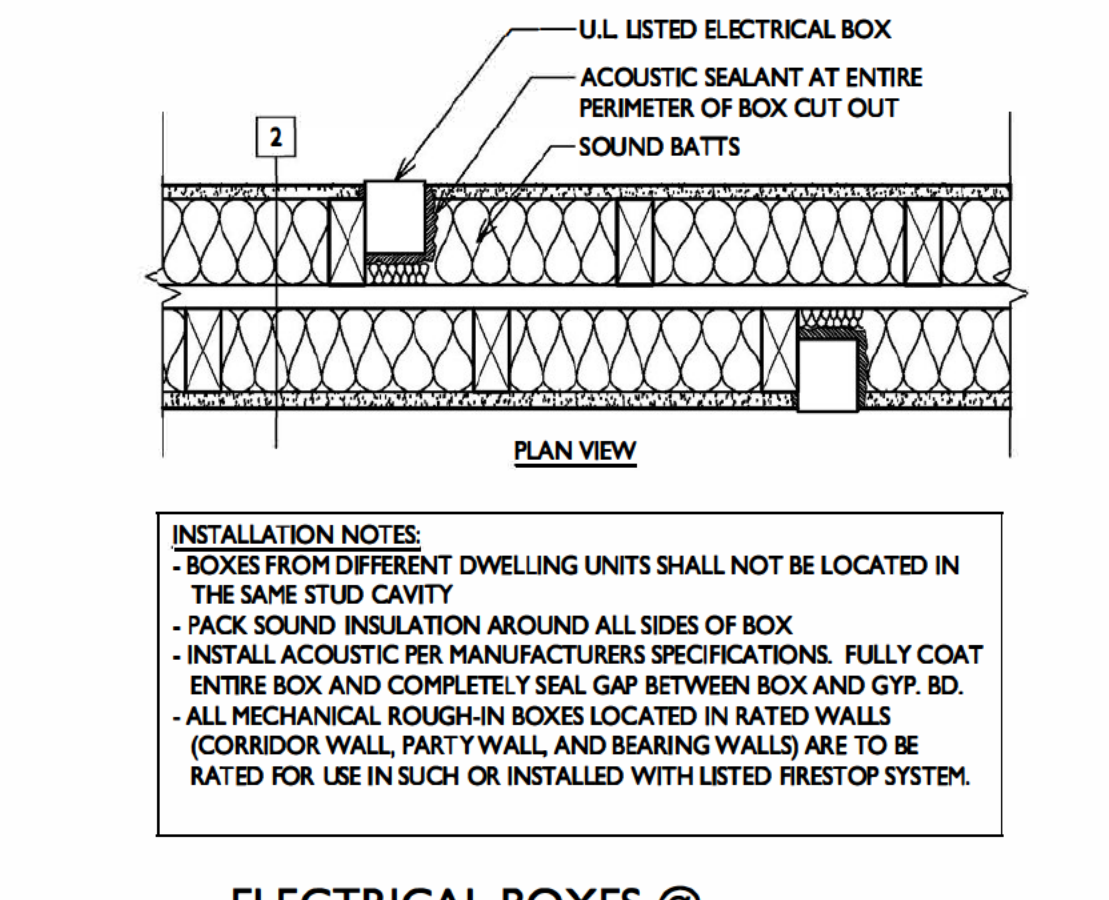
**16** STAIR BARRIER GATE  
A-4.3 1/2" = 1'-0"



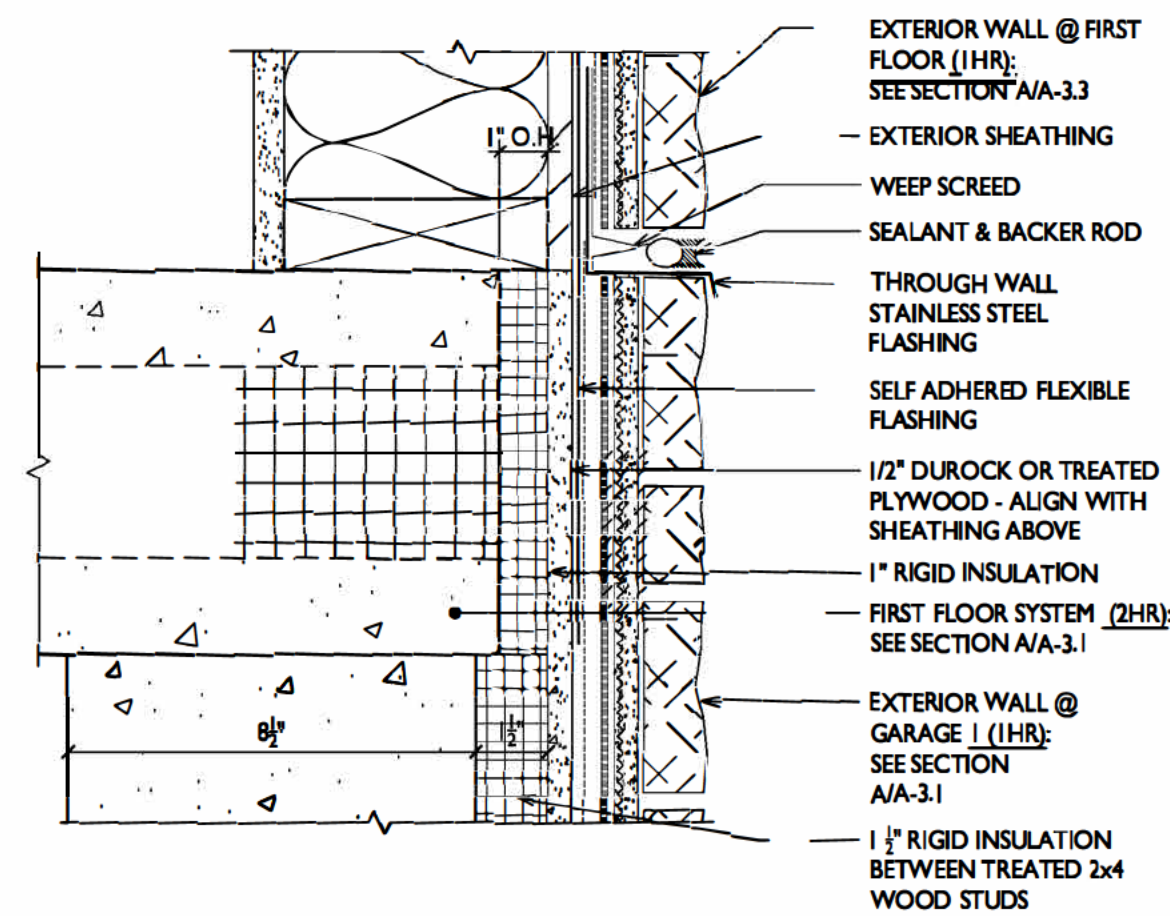
**12** HANDRAILS  
A-4.3 1" = 1'-0"



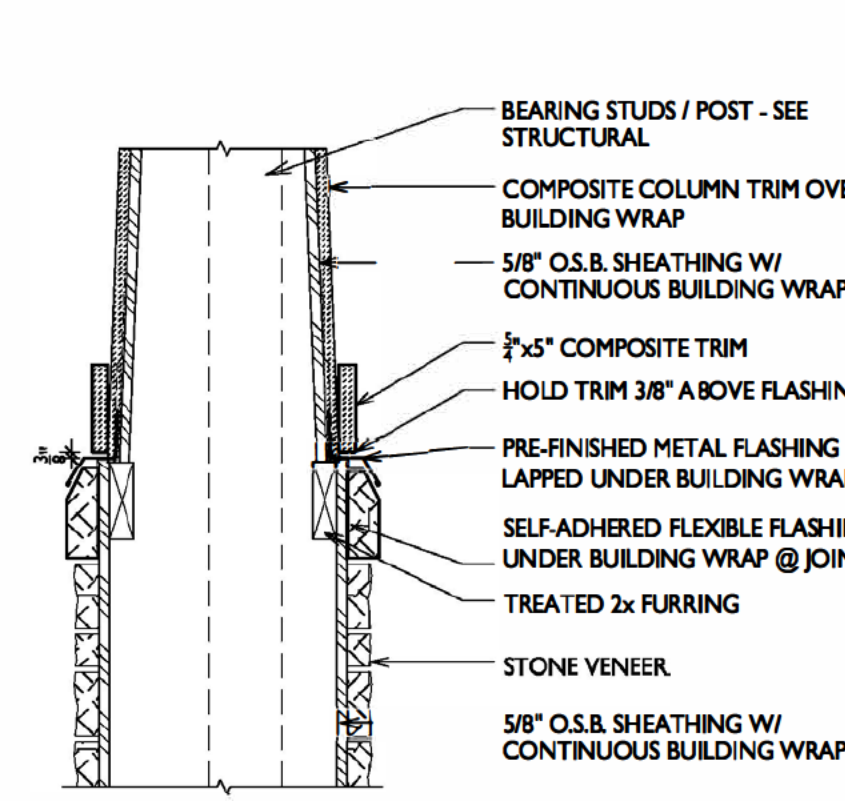
**8** STAIR STRINGER @ FIRE BARRIER  
A-4.3 1" = 1'-0"



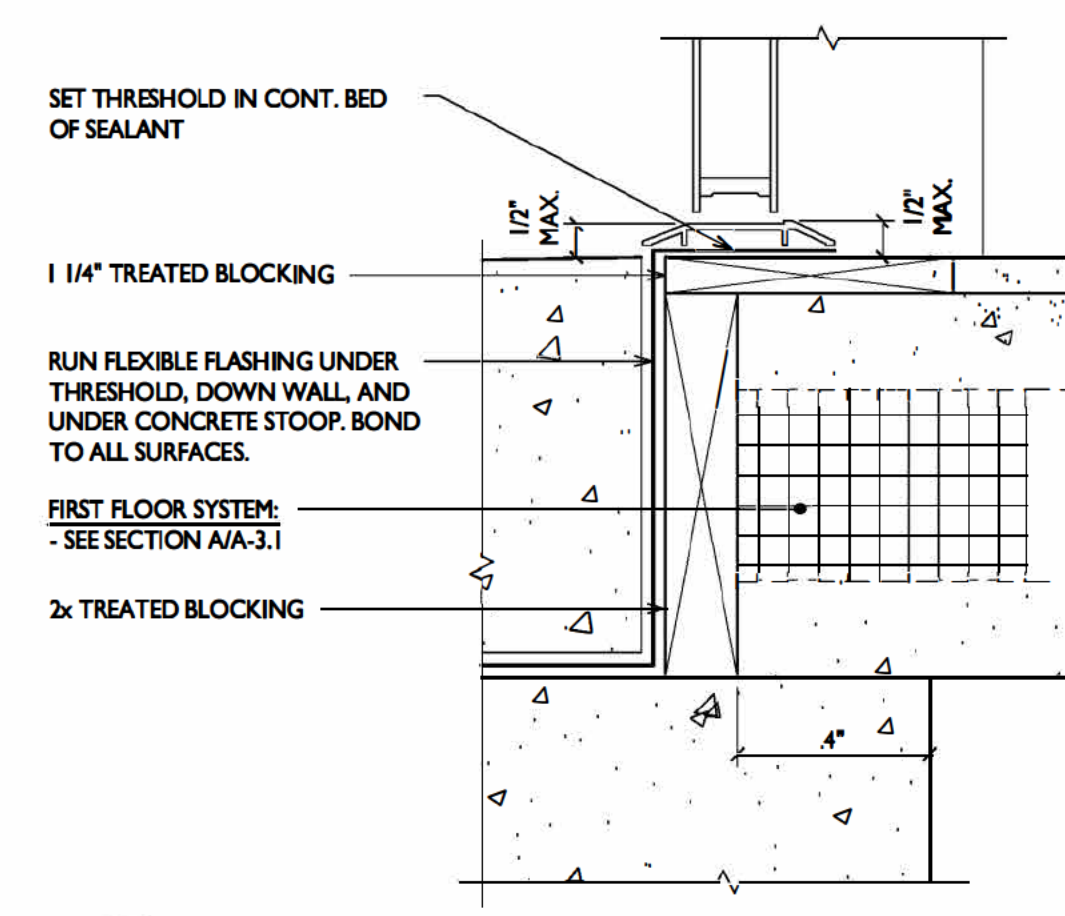
**4** ELECTRICAL BOXES @ UNIT SEPARATION WALL  
A-4.3 N.T.S.



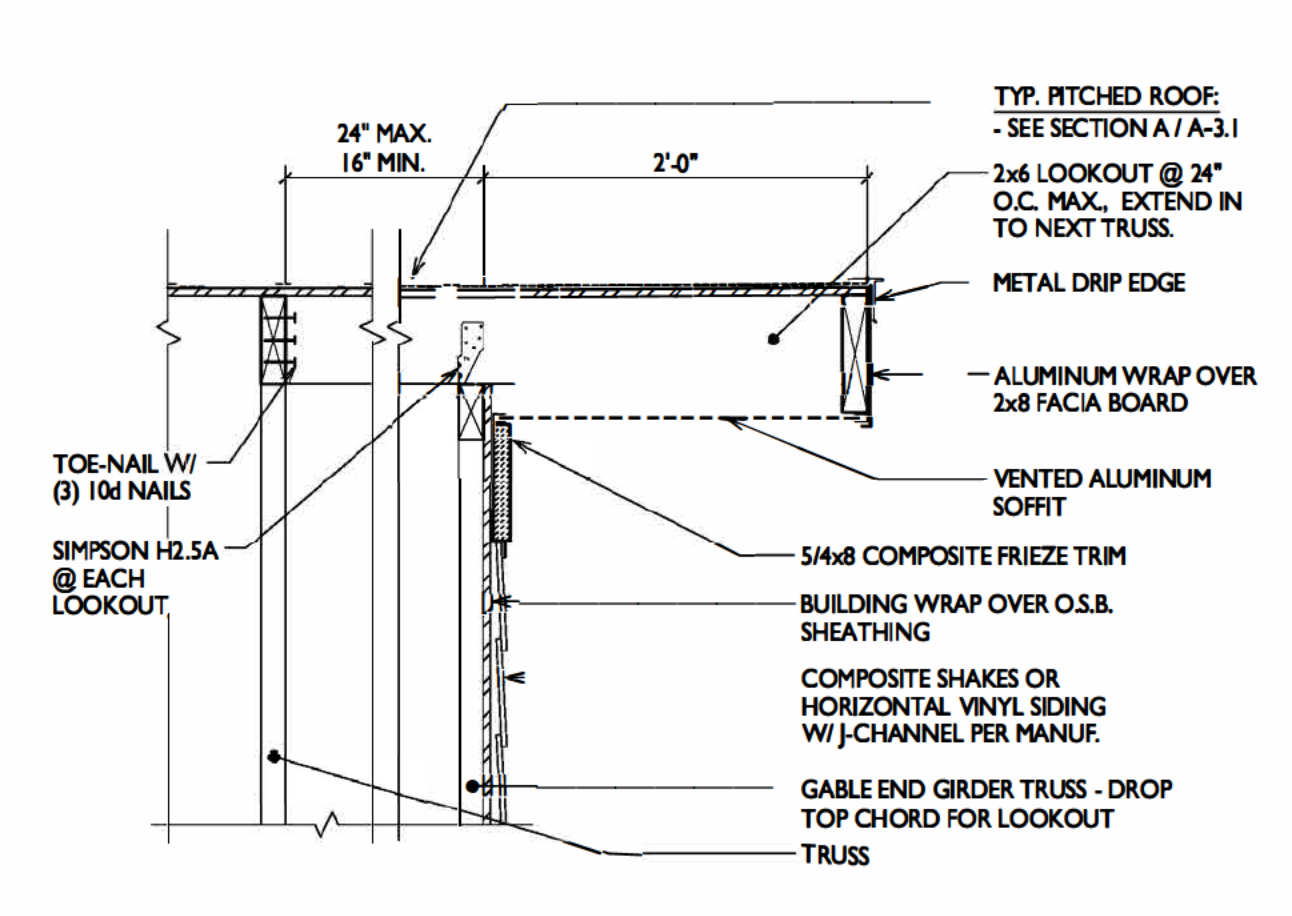
**12** STONE @ END OF PLANK  
A-4.4 3" = 1'-0"



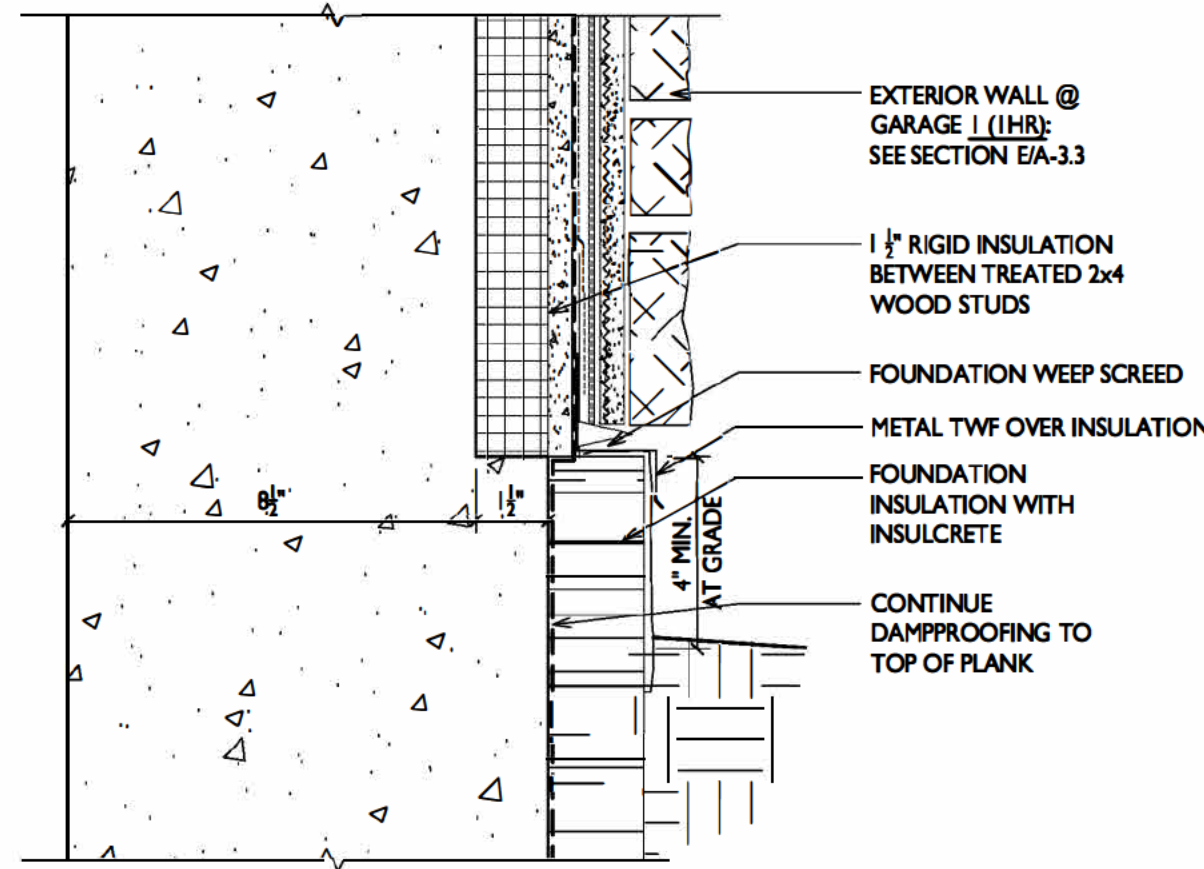
**9** COLUMN @ STONE VENEER  
A-4.4 1" = 1'-0"



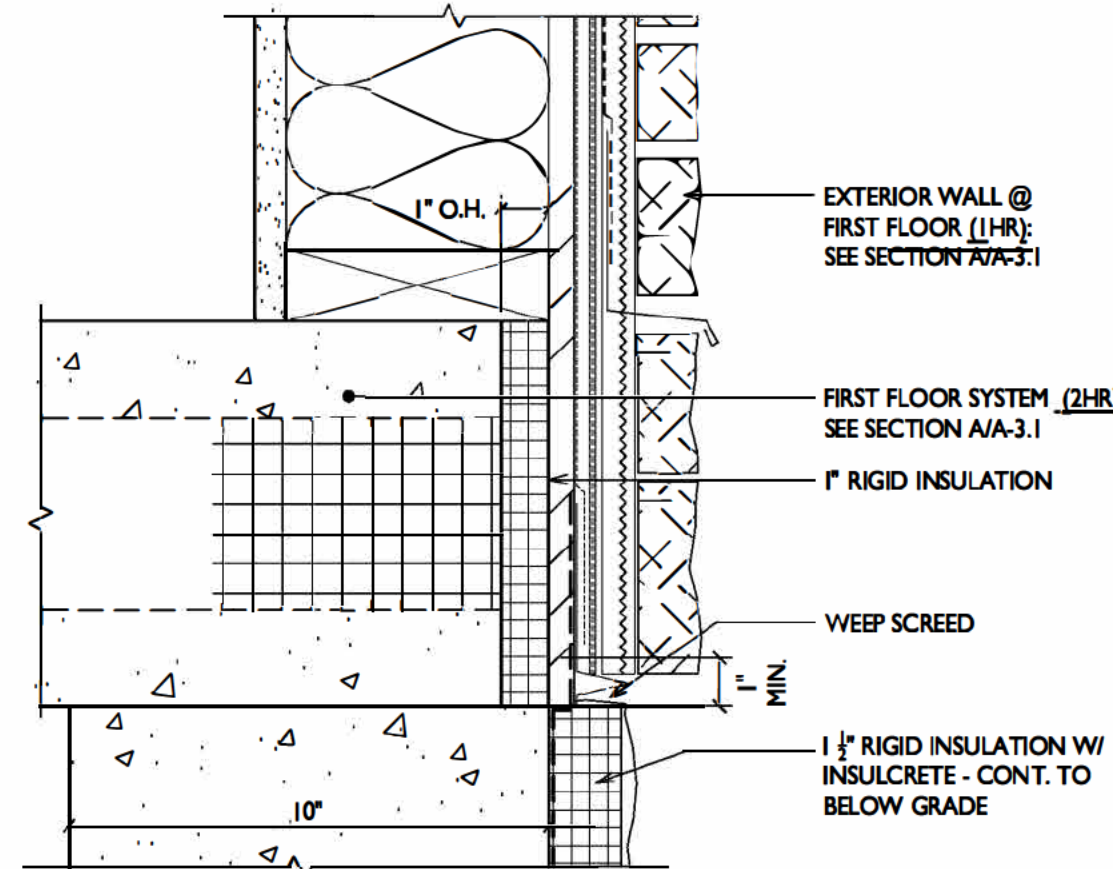
**5** STOREFRONT DOOR @ FLUSH STOOP  
A-4.4 3" = 1'-0"



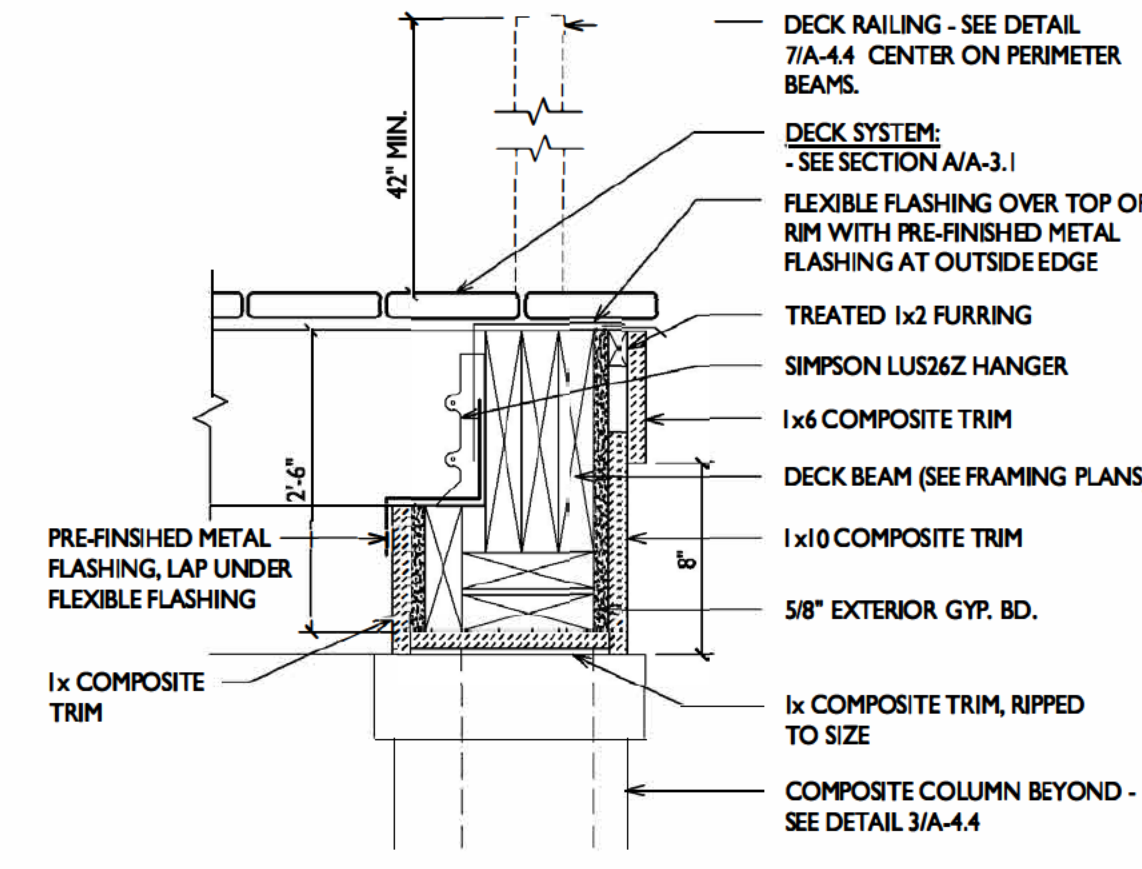
**1** ROOF RAKE @ SIDING  
A-4.4 1" = 1'-0"



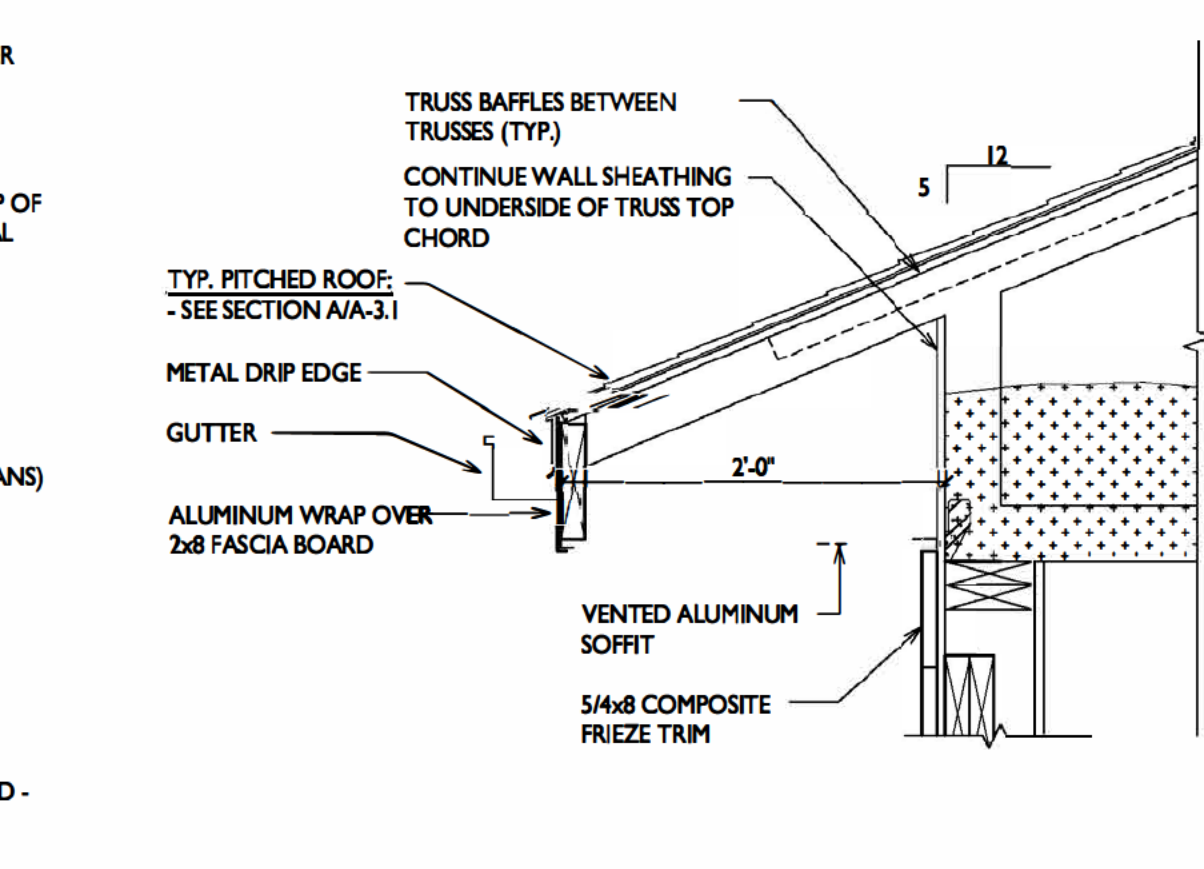
**13** STONE W/ LEDGE @ GRADE  
A-4.4 3" = 1'-0"



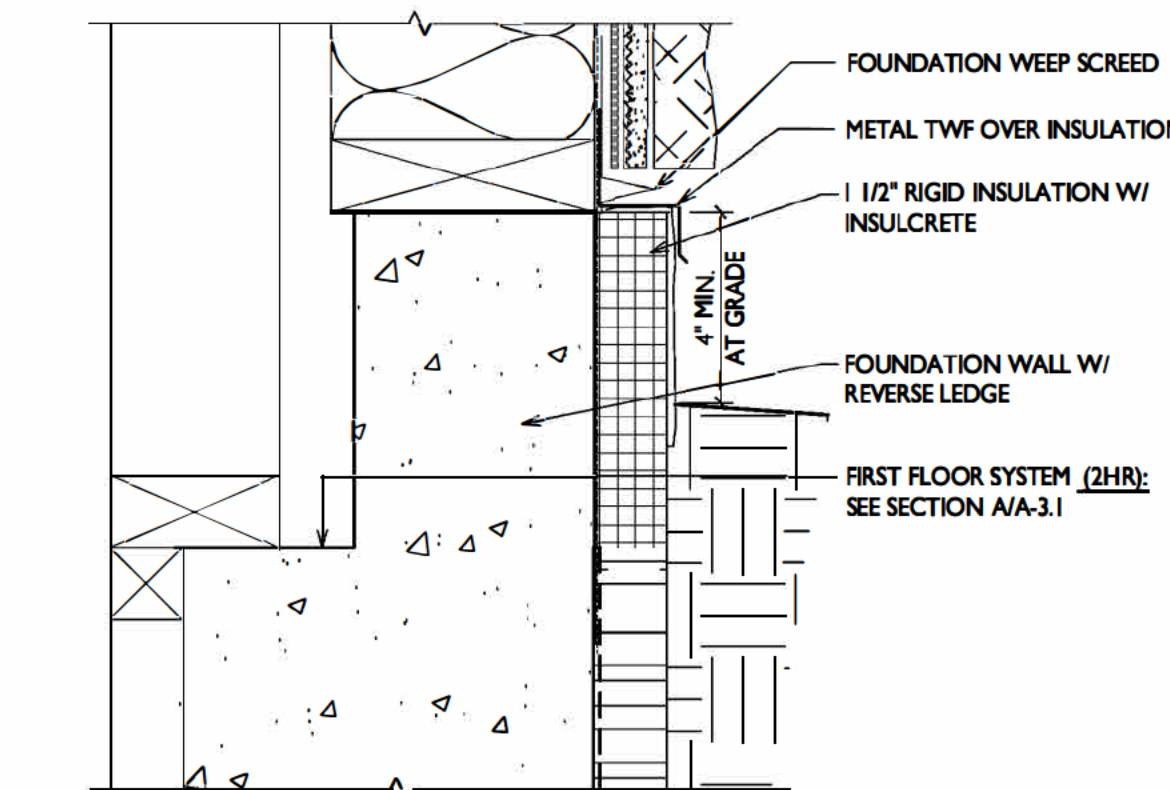
**10** STONE / INSULCRETE TRANSITION  
A-4.4 3" = 1'-0"



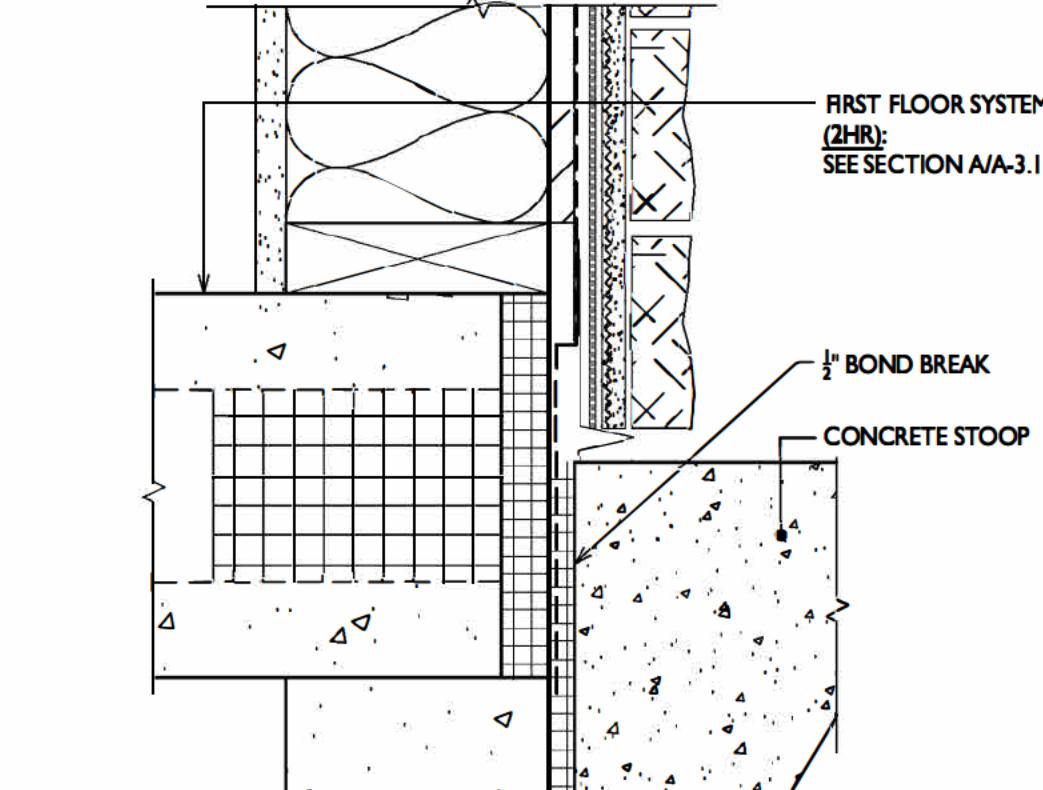
**6** DECK / BALCONY EDGE  
A-4.4 1 1/2" = 1'-0"



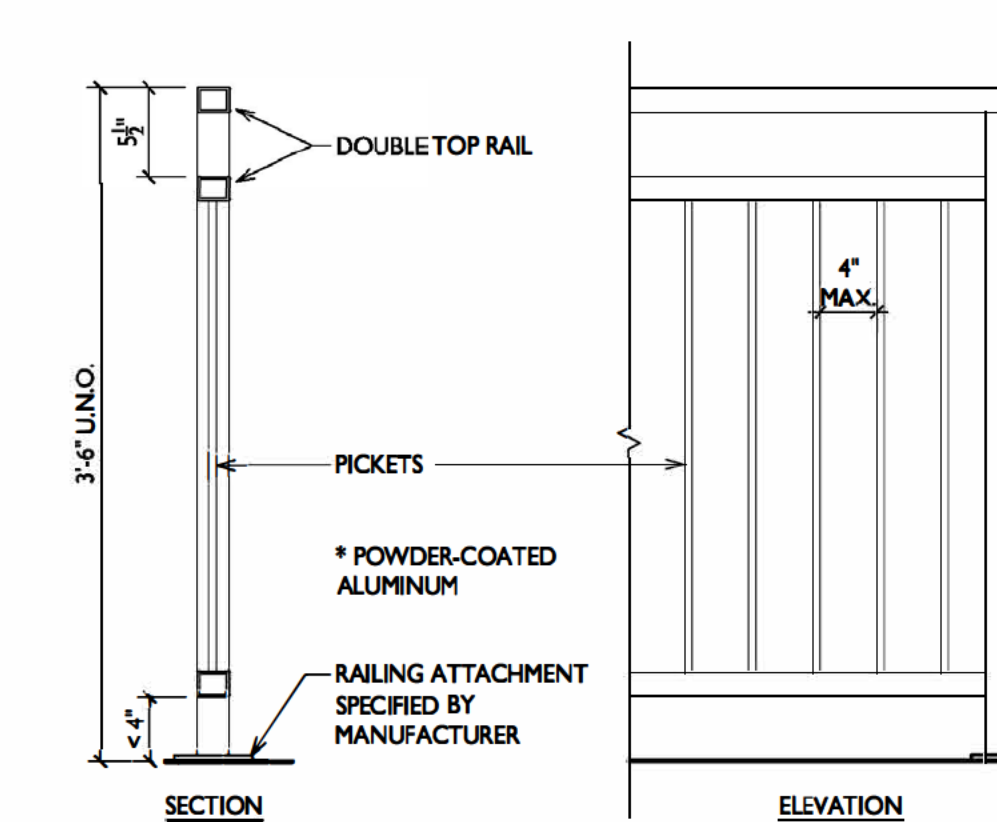
**2** ROOF EAVE DETAIL  
A-4.4 1" = 1'-0"



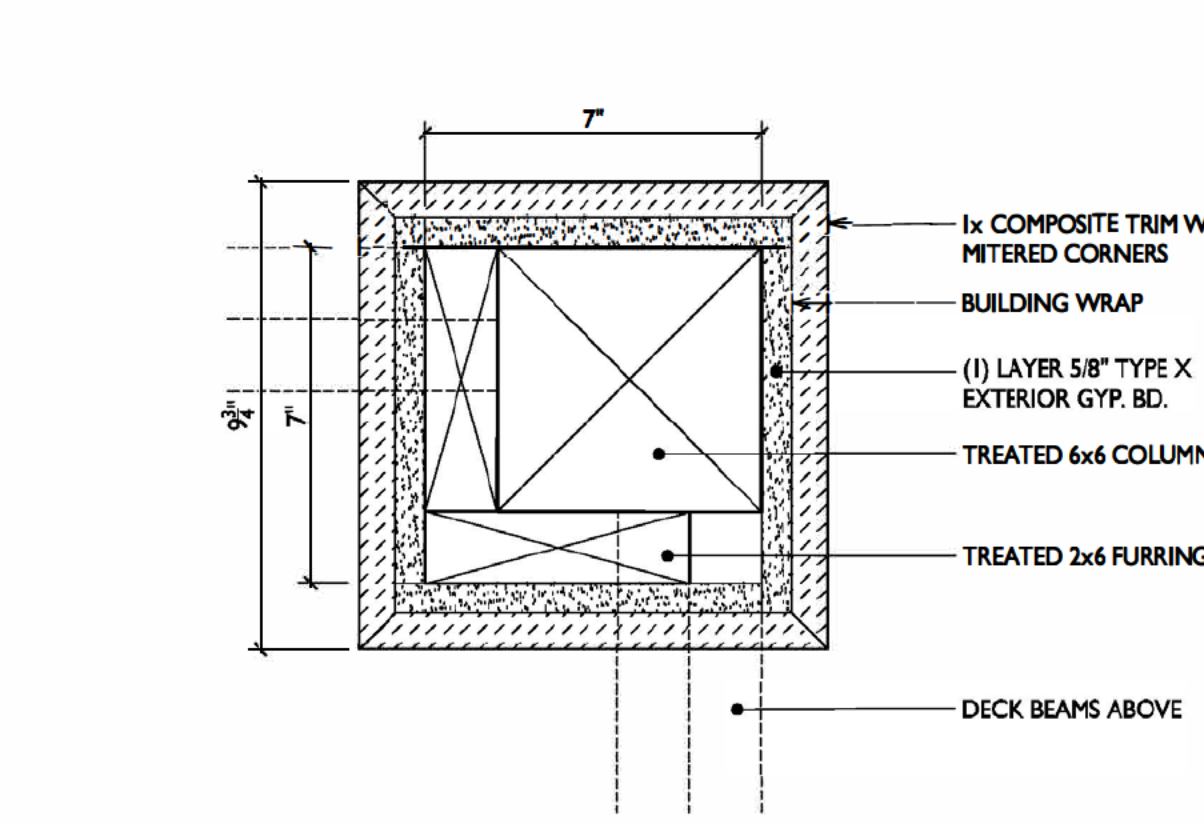
**14** STONE W/ FRAMING @ GRADE  
A-4.4 3" = 1'-0"



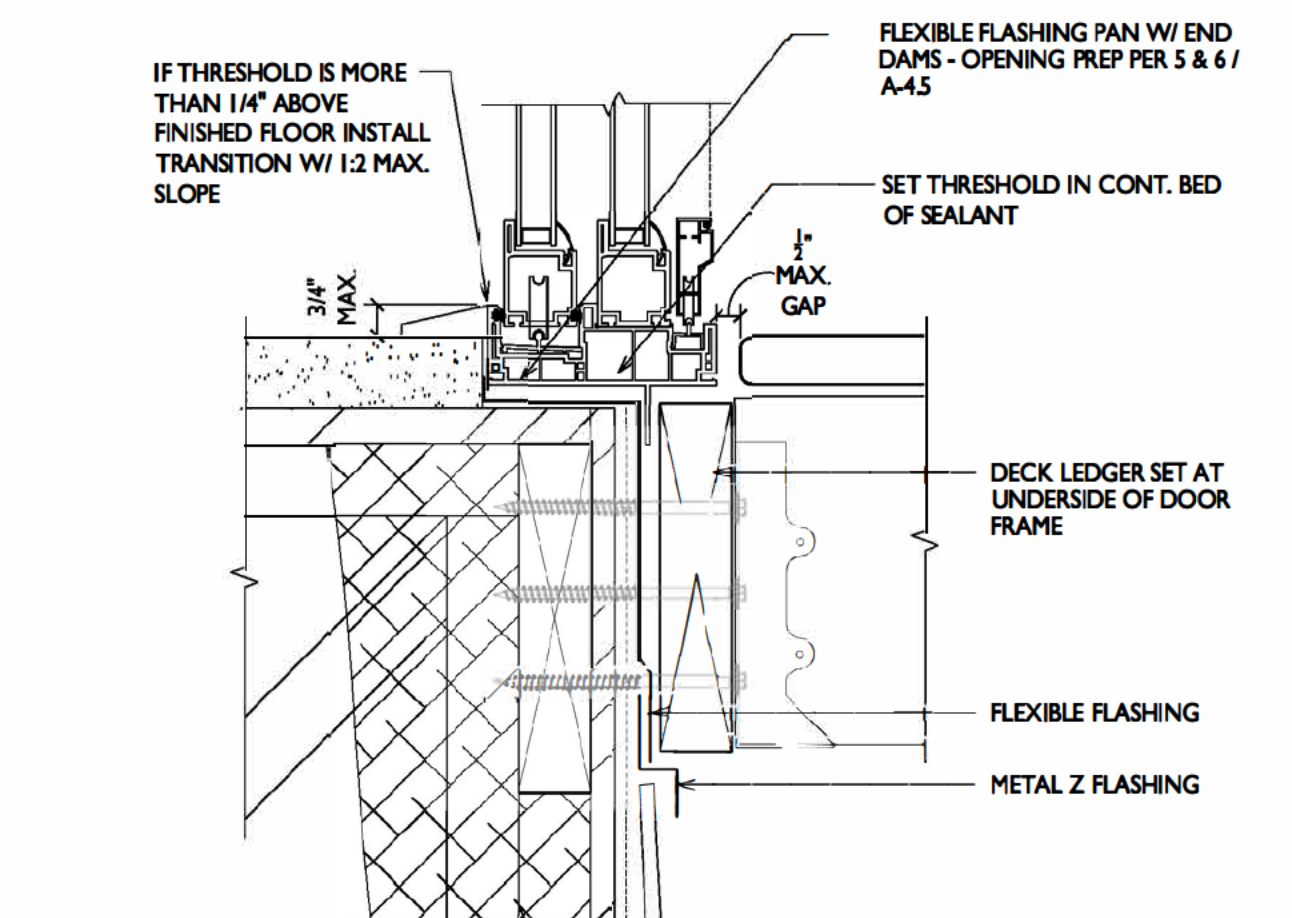
**11** WALL @ DROPPED STOOP  
A-4.4 3" = 1'-0"



**7** PATIO / DECK RAILING  
A-4.4 1" = 1'-0"

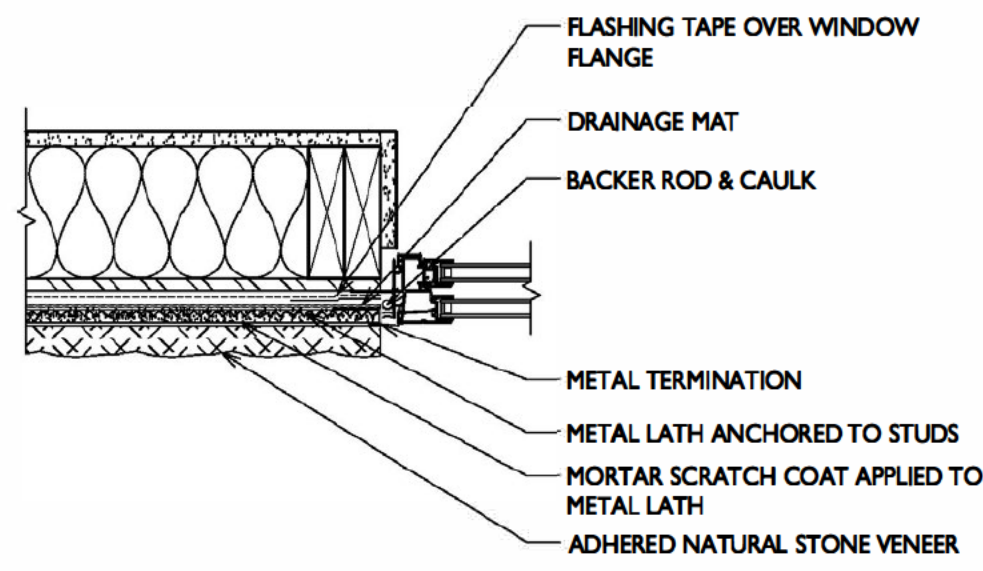


**3** COLUMN  
A-4.4 3" = 1'-0"



**4** SLIDING DOOR FLASHING AT DECK  
A-4.4 3" = 1'-0"

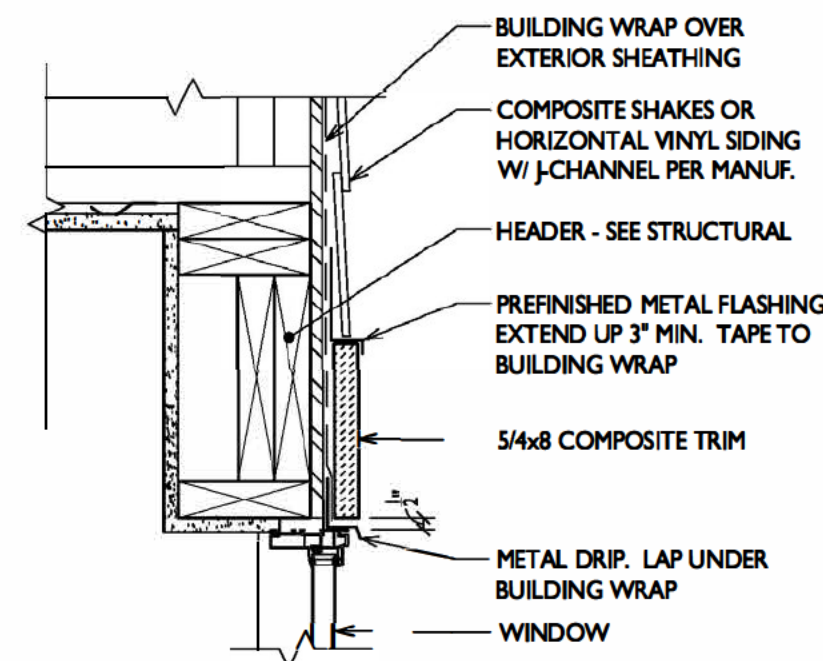
**8** NOT USED  
A-4.4 N.T.S.



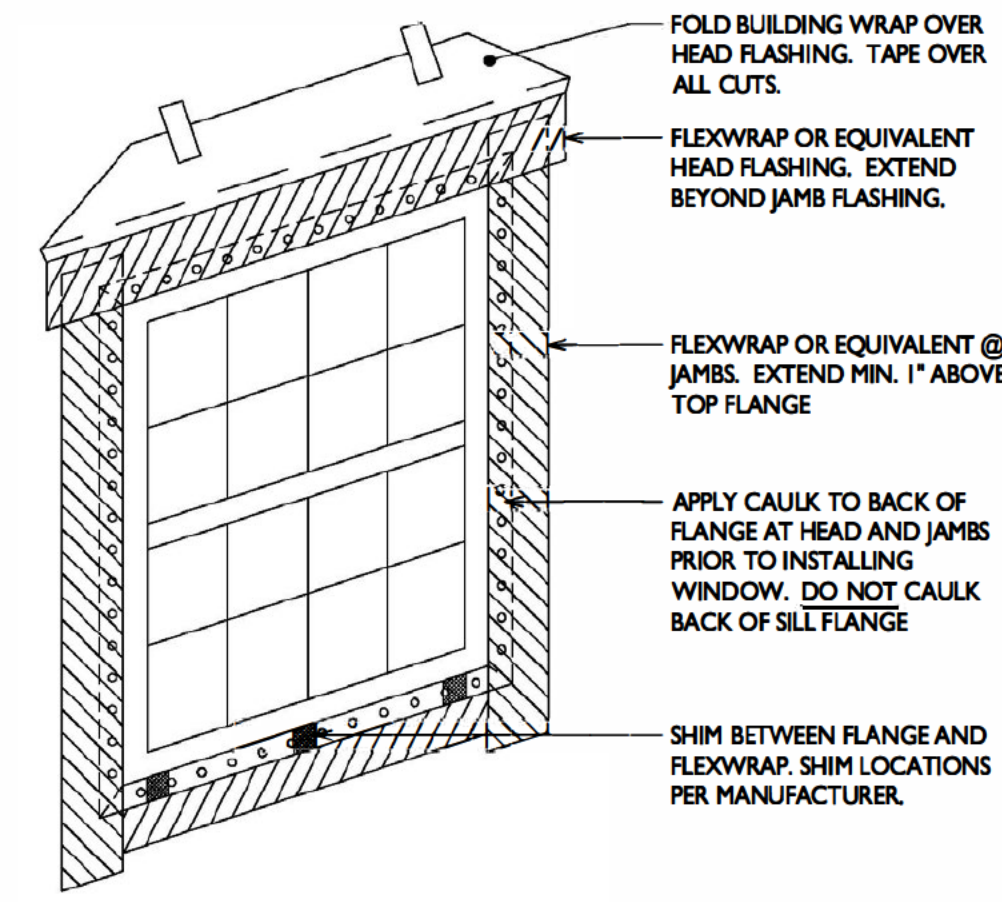
PLAN VIEW

17 WINDOW JAMB @ STONE VENEER  
A-4.5 1 1/2" = 1'-0"

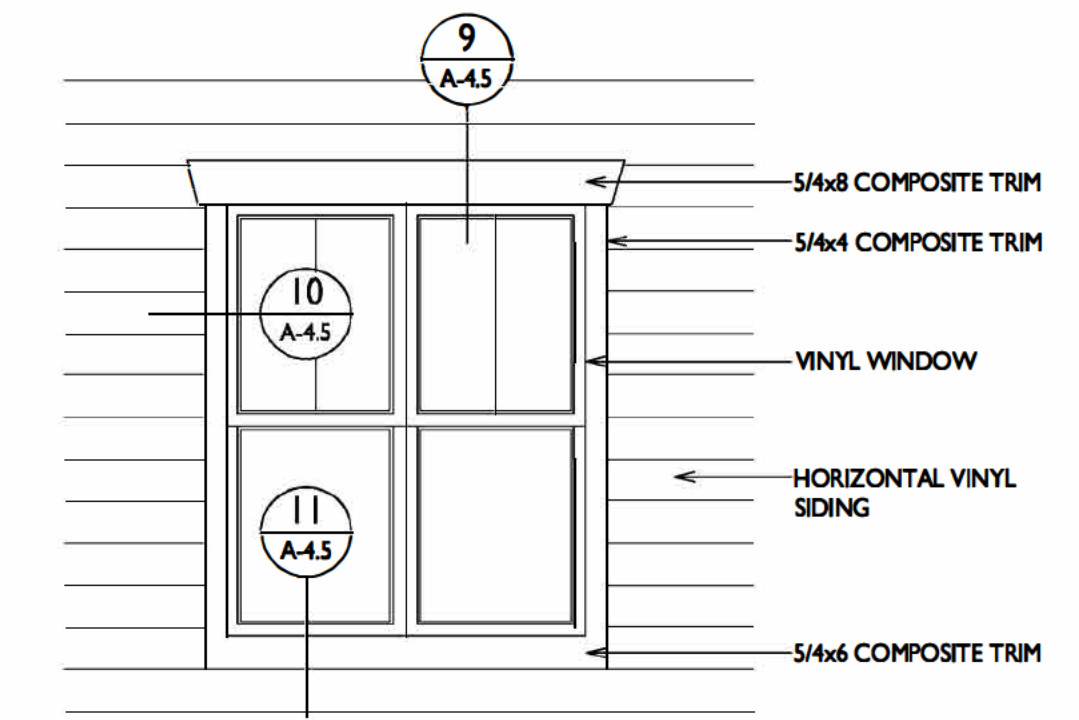
13 NOT USED  
A-4.5



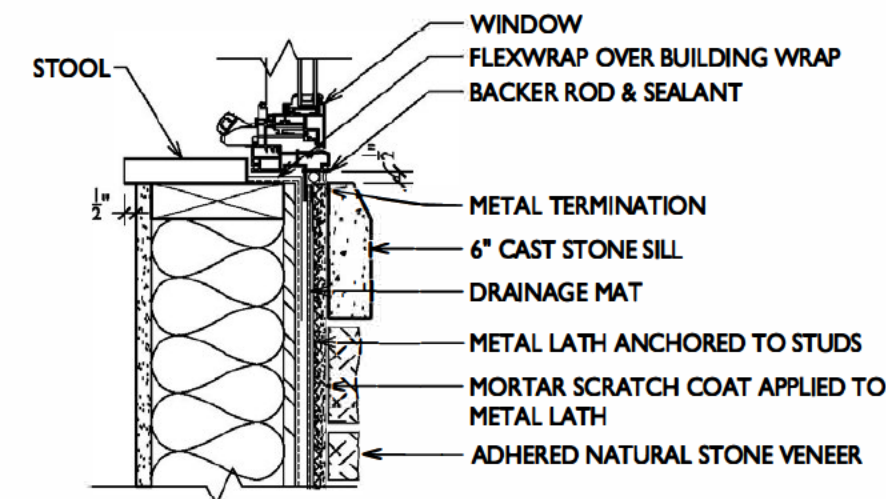
9 WINDOW HEAD @ SIDING  
A-4.5 1 1/2" = 1'-0"



5 OPENING FLASHING  
A-4.5 1 1/2" = 1'-0"

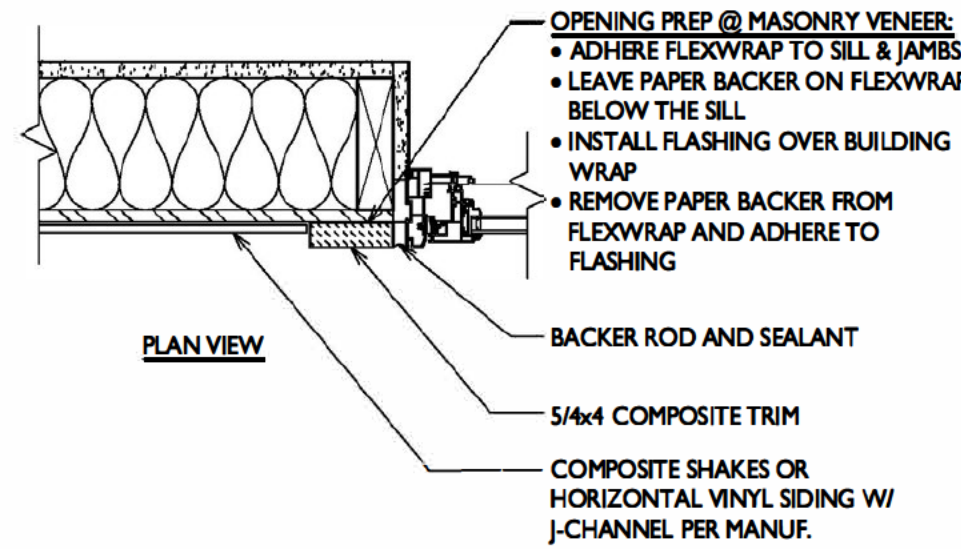


1 WINDOW ELEVATION AT HORIZONTAL VINYL SIDING  
A-4.5 3/8" = 1'-0"

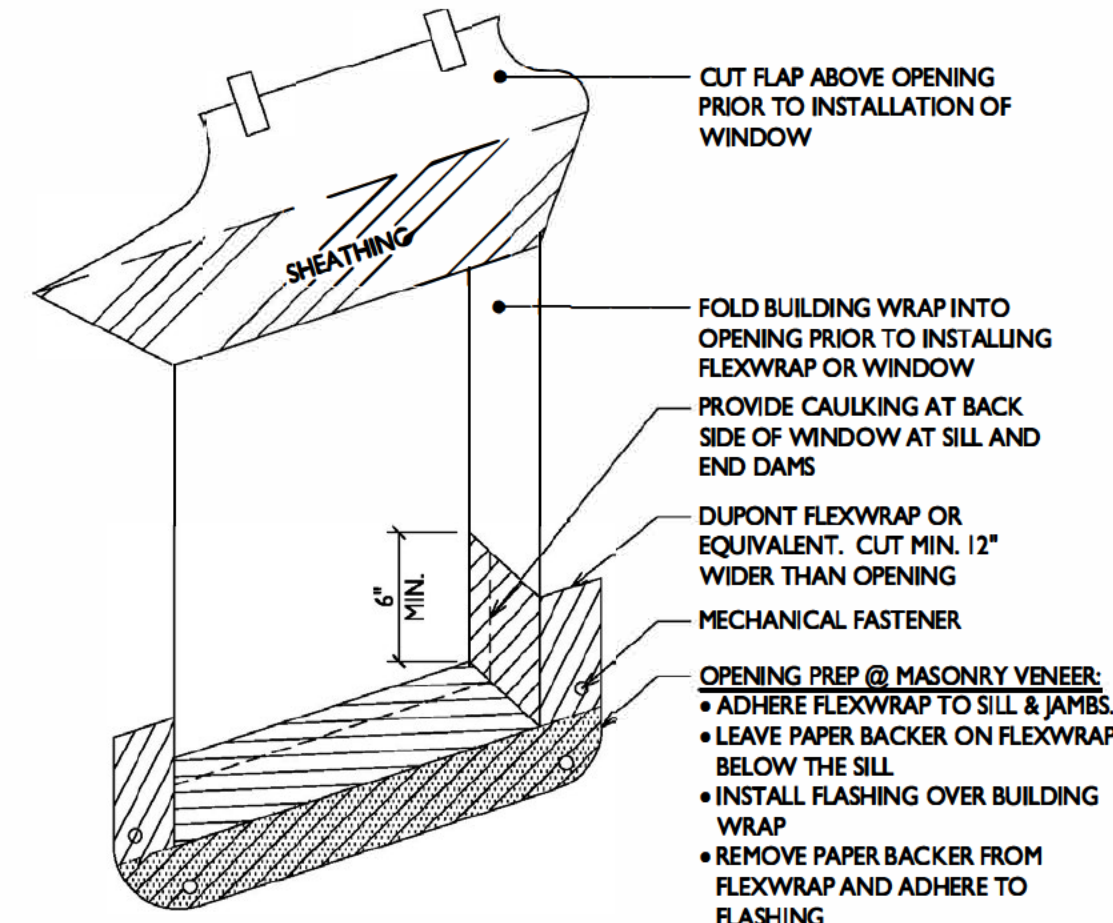


18 WINDOW SILL @ STONE VENEER  
A-4.5 1 1/2" = 1'-0"

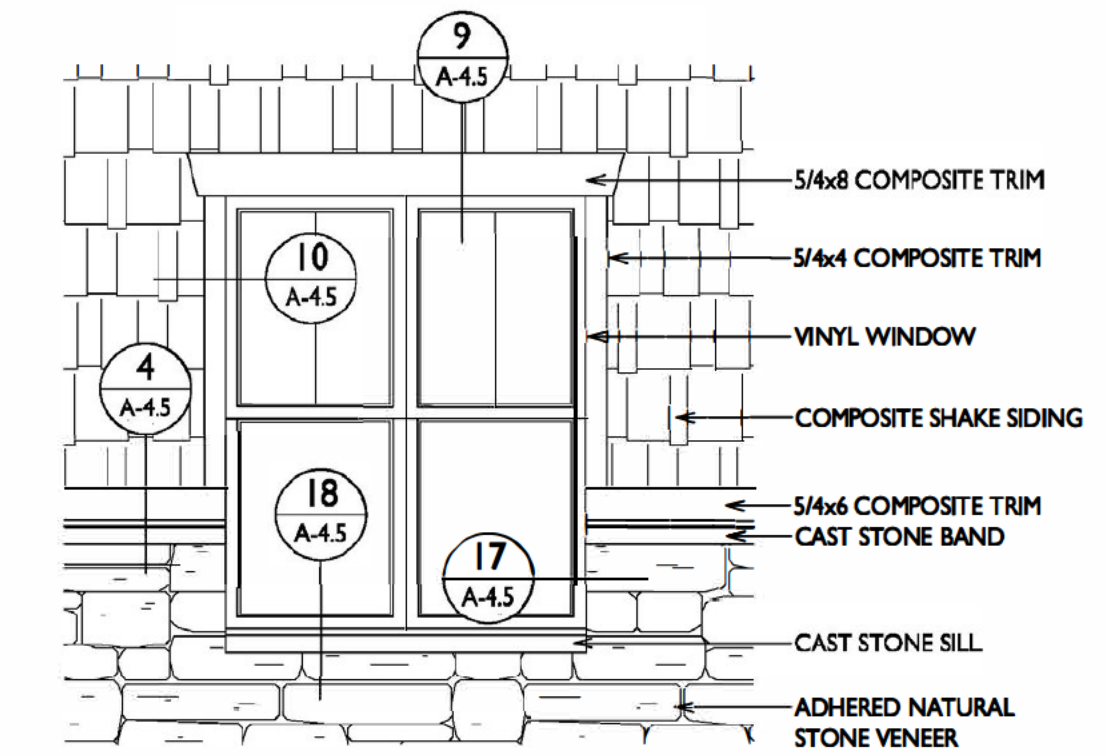
14 NOT USED  
A-4.5



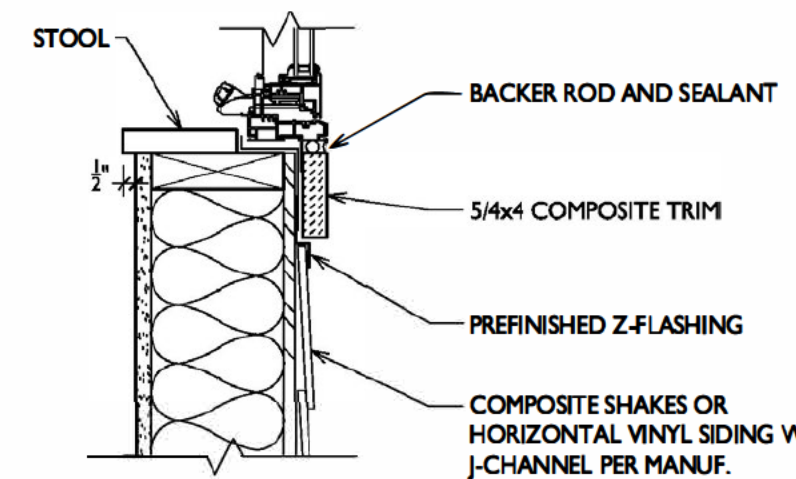
10 WINDOW JAMB @ SIDING  
A-4.5 1 1/2" = 1'-0"



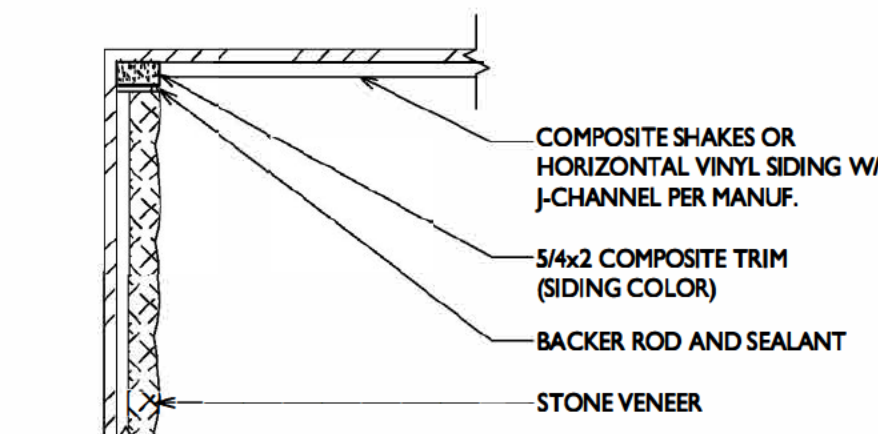
6 OPENING PREP FLASHING  
A-4.5 1 1/2" = 1'-0"



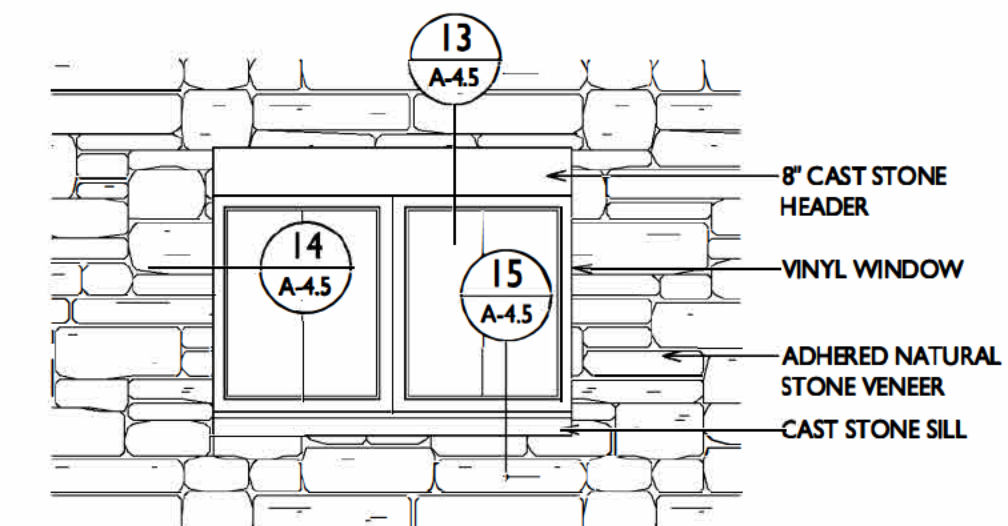
2 WINDOW ELEVATION AT SHAKE SIDING / STONE VENEER TRANSITION  
A-4.5 3/8" = 1'-0"



11 WINDOW SILL @ SIDING  
A-4.5 1 1/2" = 1'-0"

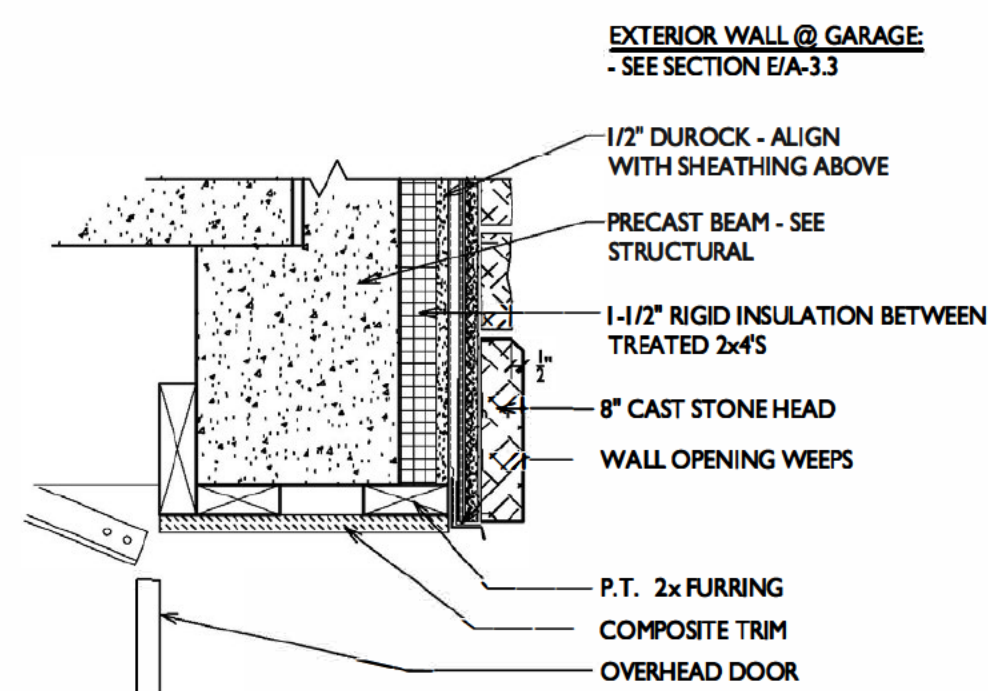


7 STONE / SIDING TRANSITION  
A-4.5 1 1/2" = 1'-0"

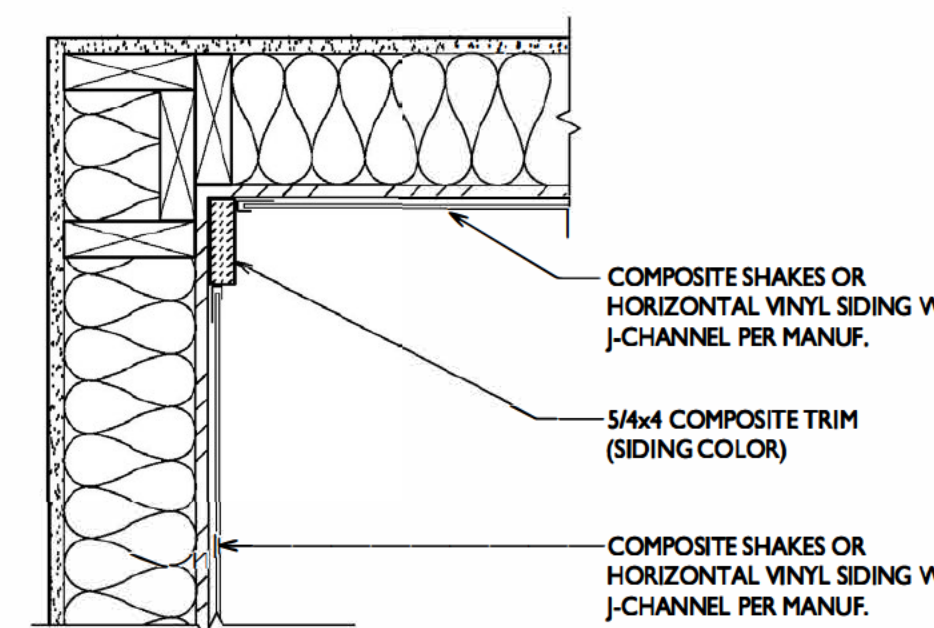


3 WINDOW ELEVATION AT STONE VENEER  
A-4.5 3/8" = 1'-0"

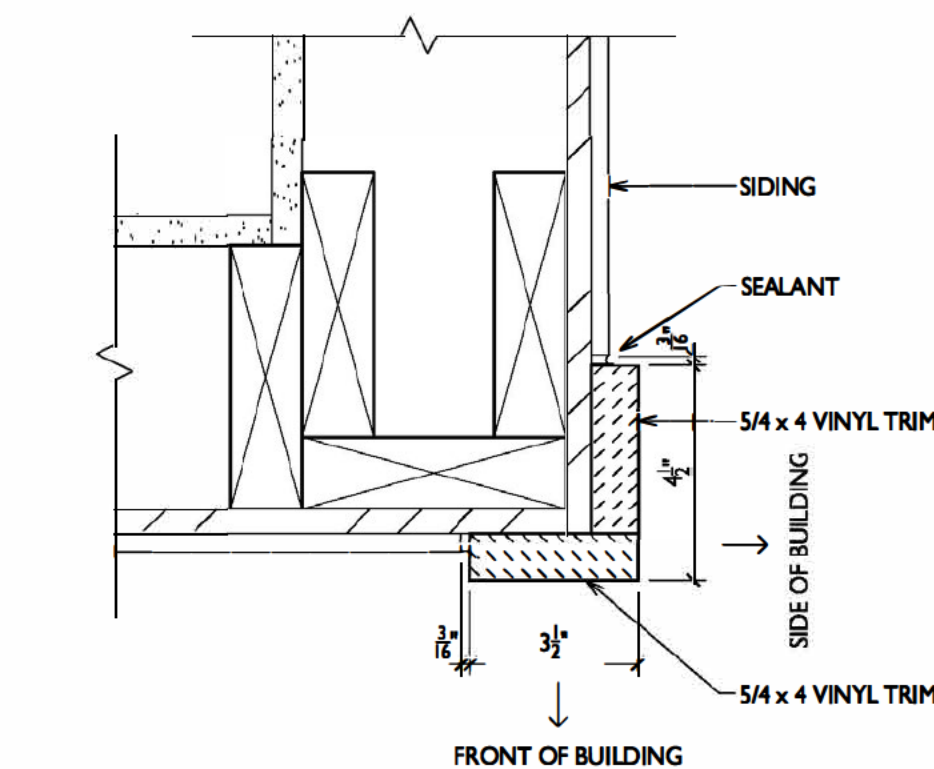
15 NOT USED  
A-4.5



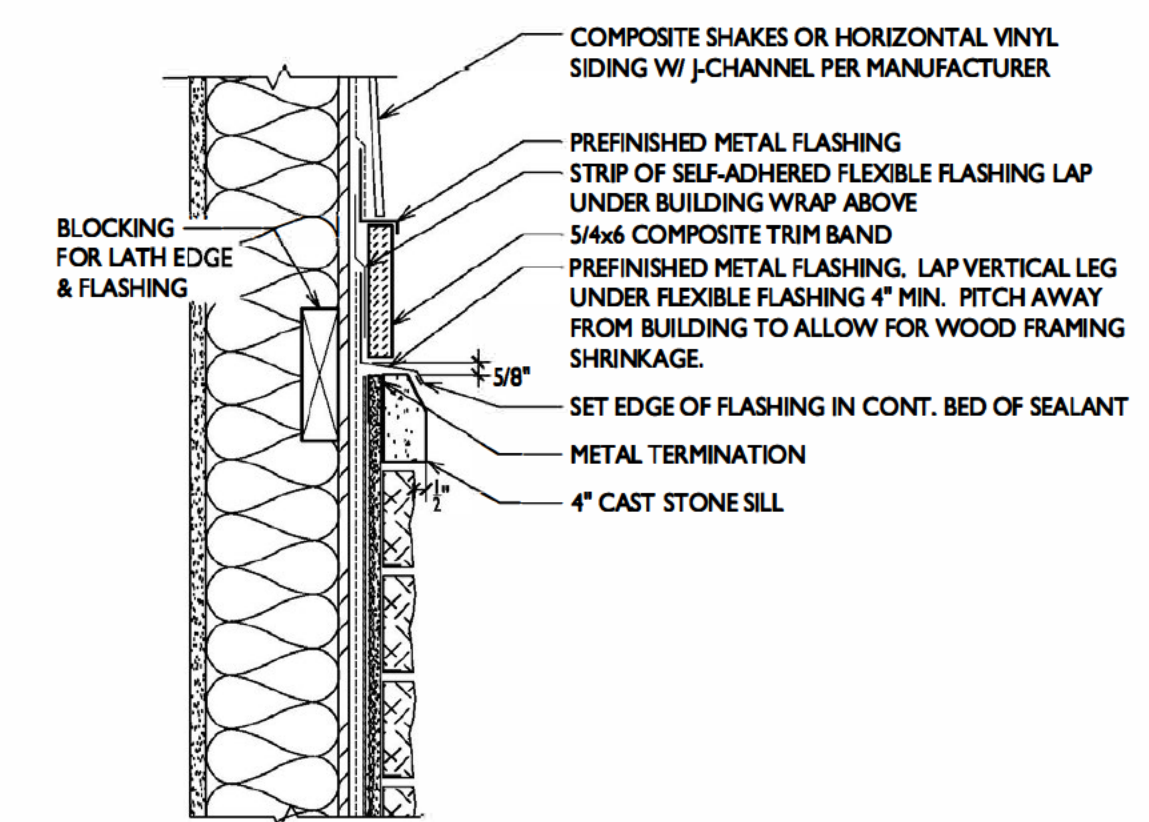
16 OVERHEAD DOOR AT GARAGE  
A-4.5 1 1/2" = 1'-0"



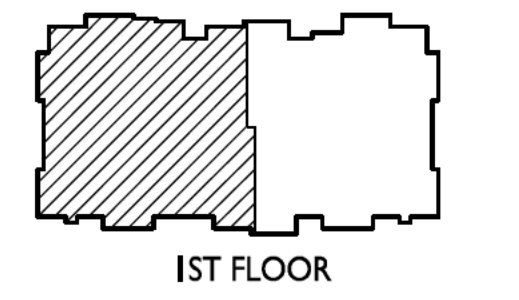
12 COMPOSITE TRIM @ INSIDE CORNER  
A-4.5 1 1/2" = 1'-0"



8 CORNER TRIM @ VINYL SIDING  
A-4.5 3" = 1'-0"



4 STONE / SIDING TRANSITION  
A-4.5 1 1/2" = 1'-0"



ISSUED  
Issued For Plan Review - September 11, 2025

PROJECT TITLE  
**Whistling Ridge  
Building #3**

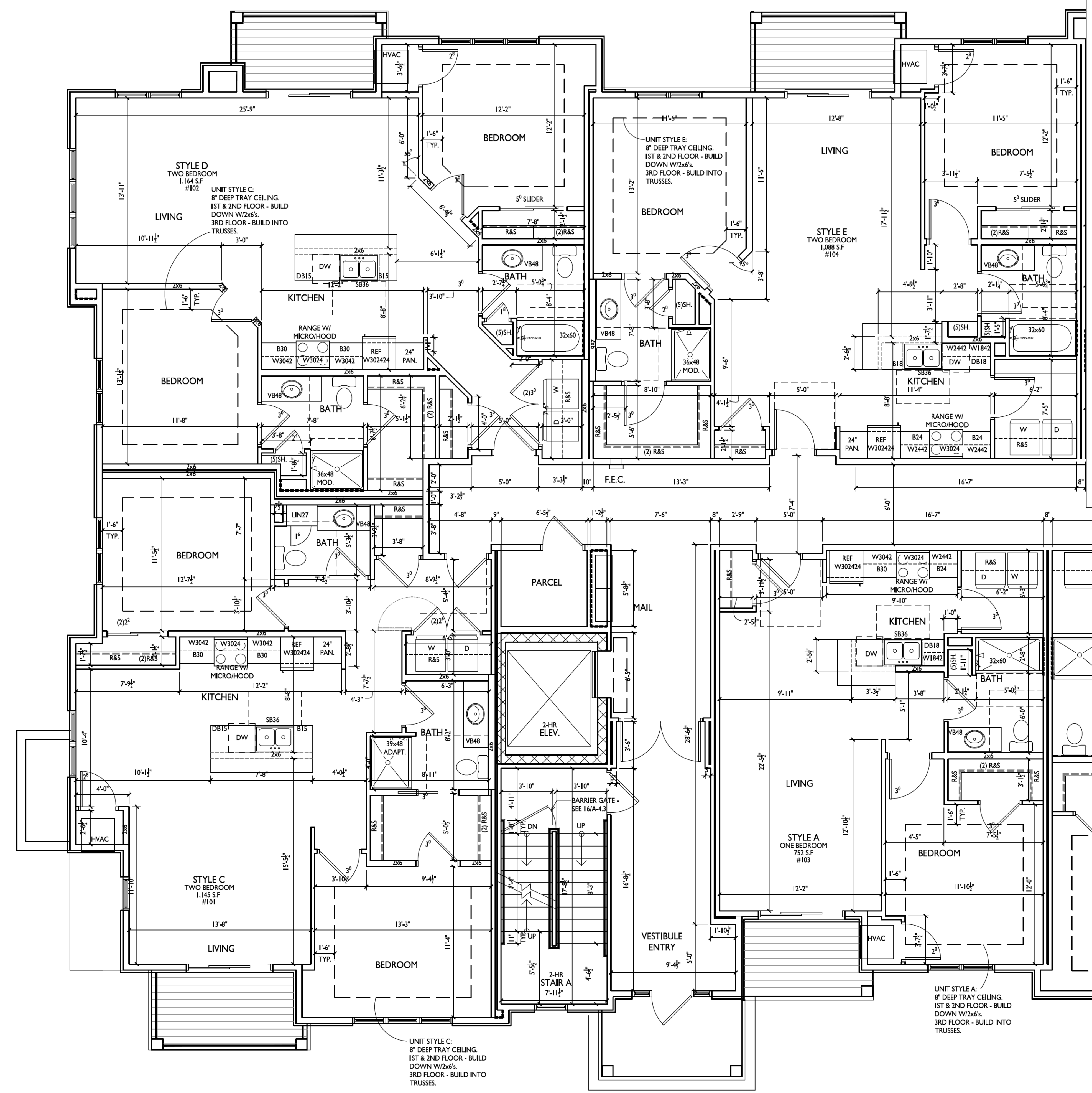
108 Whistle Street  
Marshall, WI  
SHEET TITLE  
**Enlarged First  
Floor Plan**

SHEET NUMBER

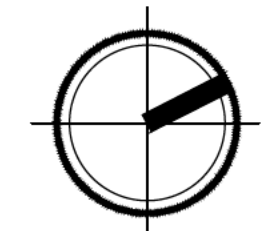
**A-5.1**

PROJECT NO. **2002**

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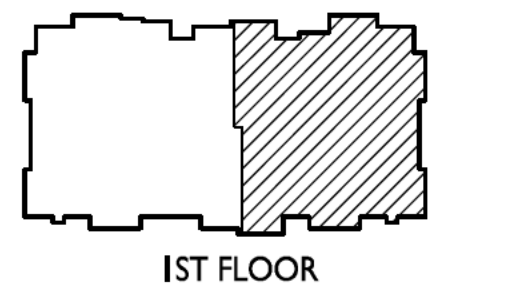
**ENLARGED FIRST FLOOR PLAN**  
A-5.1 1/4" = 1'-0"





**knothe + bruce**  
ARCHITECTS

Phone: 8401 Greenway Blvd., Suite 900  
608.836.3690 Middleton, WI 53562



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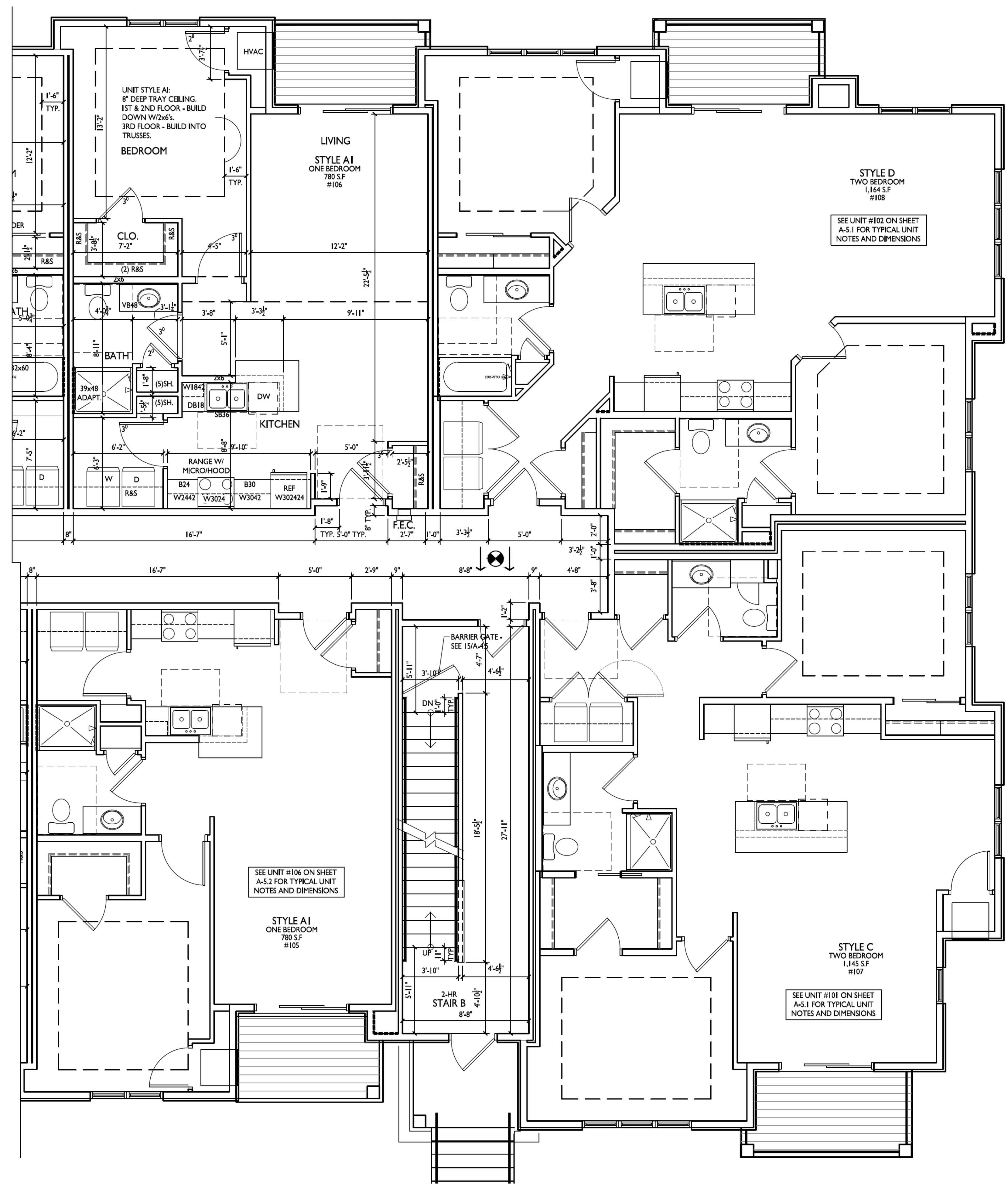
PROJECT TITLE  
**Whistling Ridge  
Building #3**

108 Whistle Street  
Marshall, WI  
SHEET TITLE  
**Enlarged First  
Floor Plan**

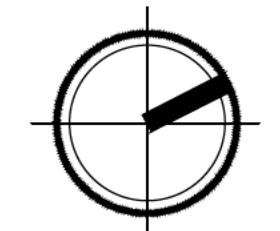
SHEET NUMBER

**A-5.2**

PROJECT NO. **2002**  
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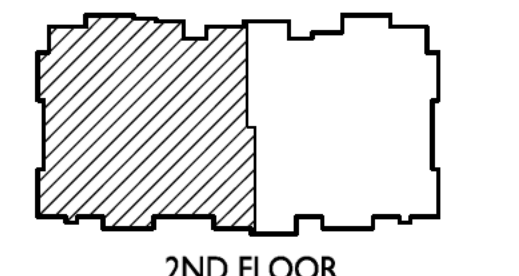
**1** ENLARGED FIRST FLOOR PLAN  
A-5.2 1/4" = 1'-0"





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PROJECT TITLE  
**Whistling Ridge  
Building #3**

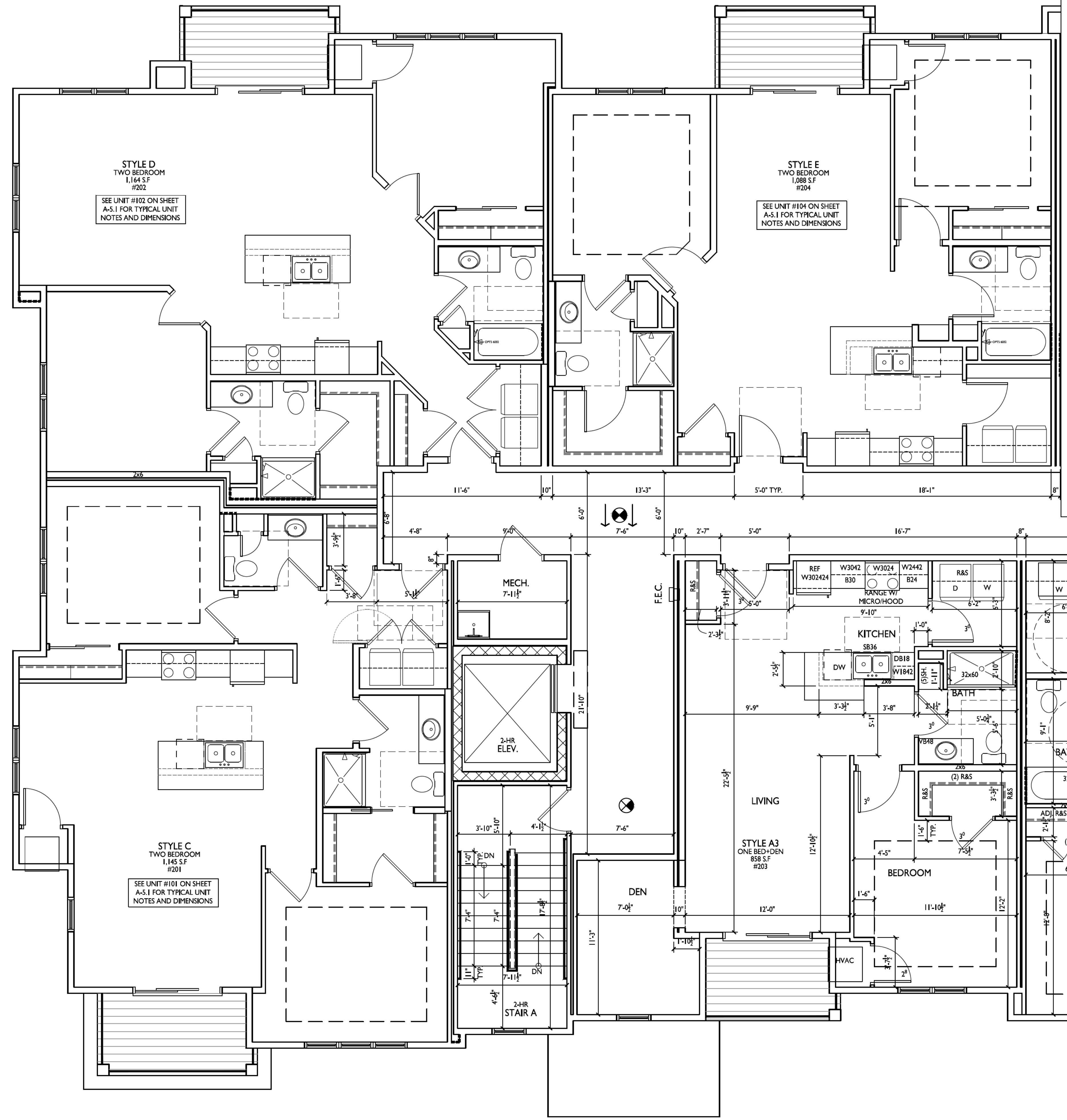
108 Whistle Street  
Marshall, WI  
SHEET TITLE  
**Enlarged Second  
Floor Plan**

SHEET NUMBER

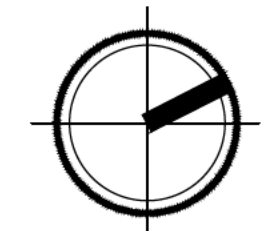
**A-5.3**

PROJECT NO. **2002**

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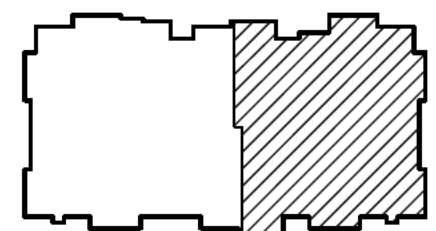
**ENLARGED SECOND FLOOR PLAN**  
A-5.3 1/4" = 1'-0"





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2ND FLOOR

ISSUED  
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PROJECT TITLE  
**Whistling Ridge  
Building #3**

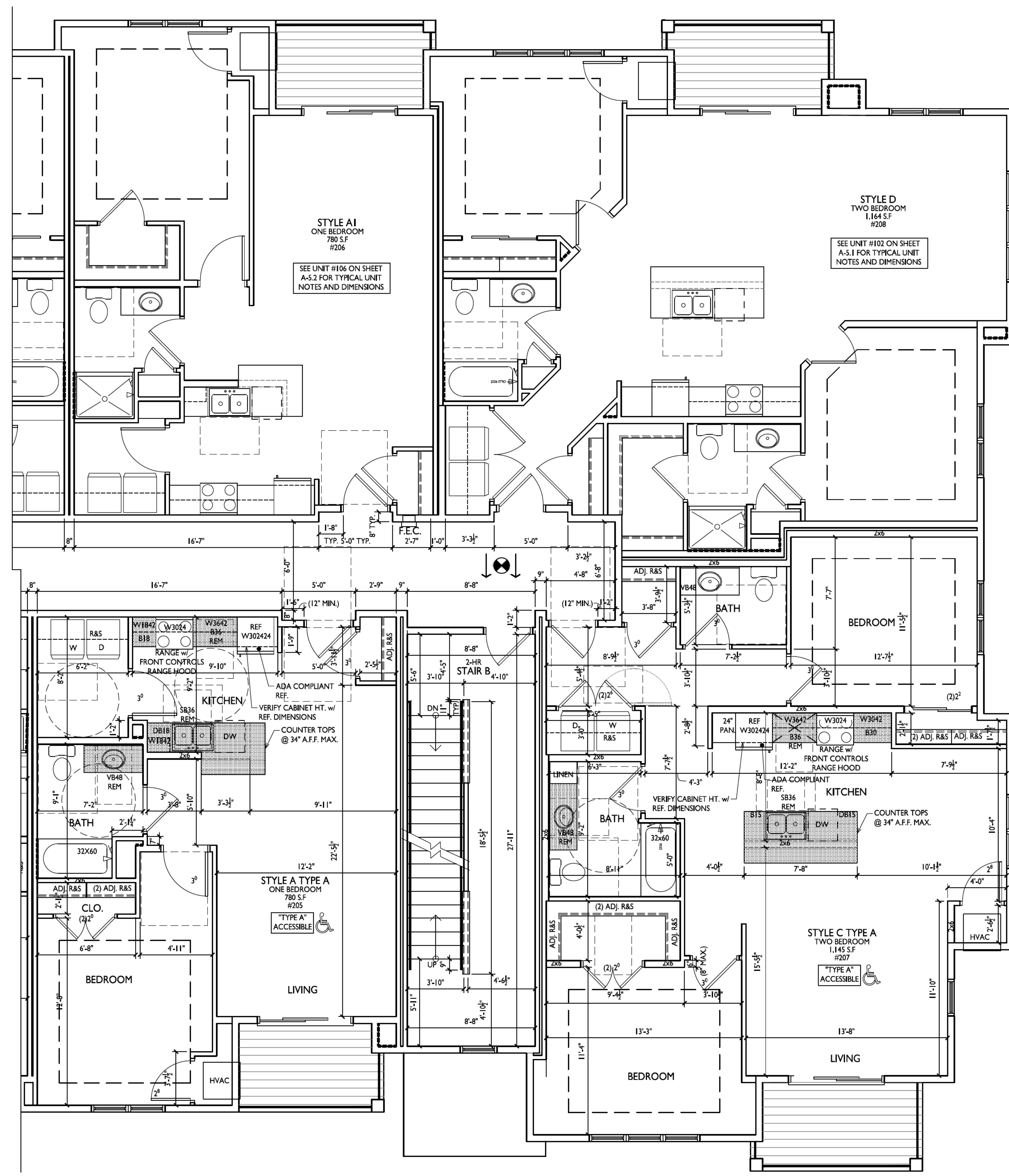
108 Whistle Street  
Marshall, WI  
SHEET TITLE  
**Enlarged Second  
Floor Plan**

SHEET NUMBER

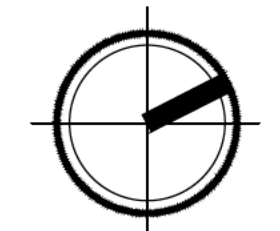
**A-5.4**

PROJECT NO. **2002**

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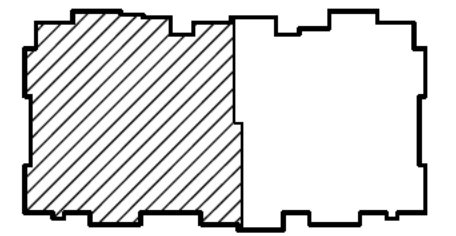
**1** ENLARGED SECOND FLOOR PLAN  
A-5.4 1/4" = 1'-0"





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3RD FLOOR

ISSUED  
Issued For Plan Review - September 11, 2025

PROJECT TITLE  
**Whistling Ridge  
Building #3**

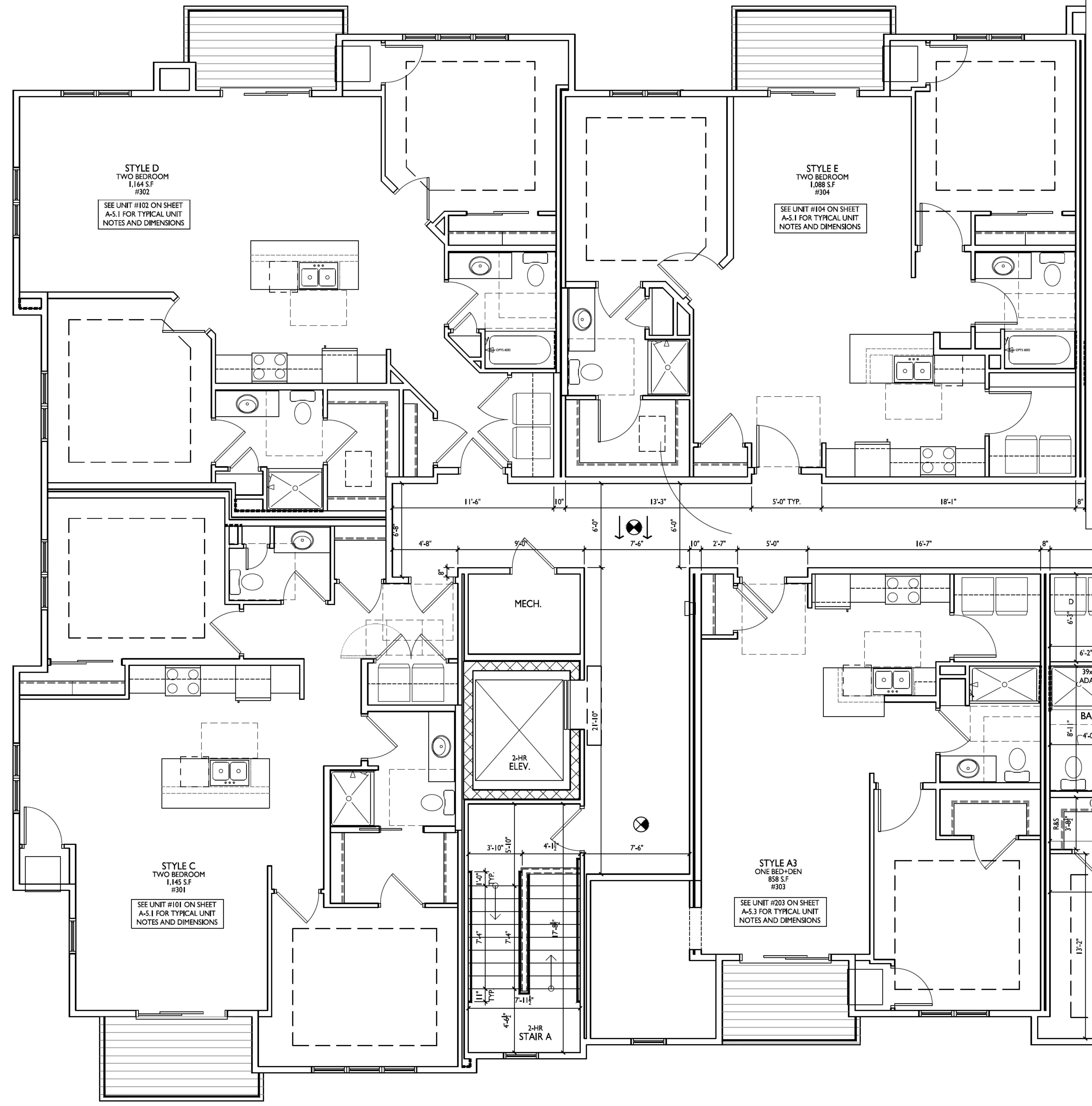
108 Whistle Street  
Marshall, WI  
SHEET TITLE  
**Enlarged Third  
Floor Plan**

SHEET NUMBER

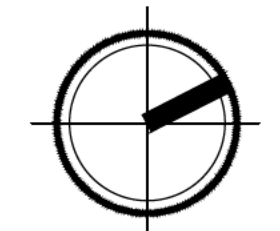
**A-5.5**

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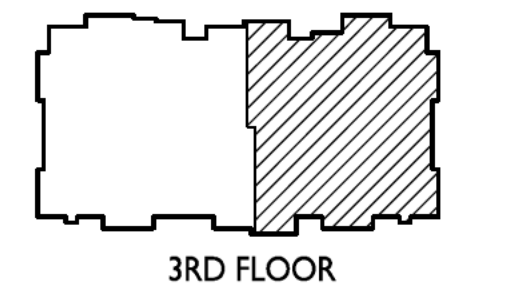
**1** ENLARGED THIRD FLOOR PLAN  
A-5.5 1/4" = 1'-0"





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ISSUED  
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PROJECT TITLE  
**Whistling Ridge  
Building #3**

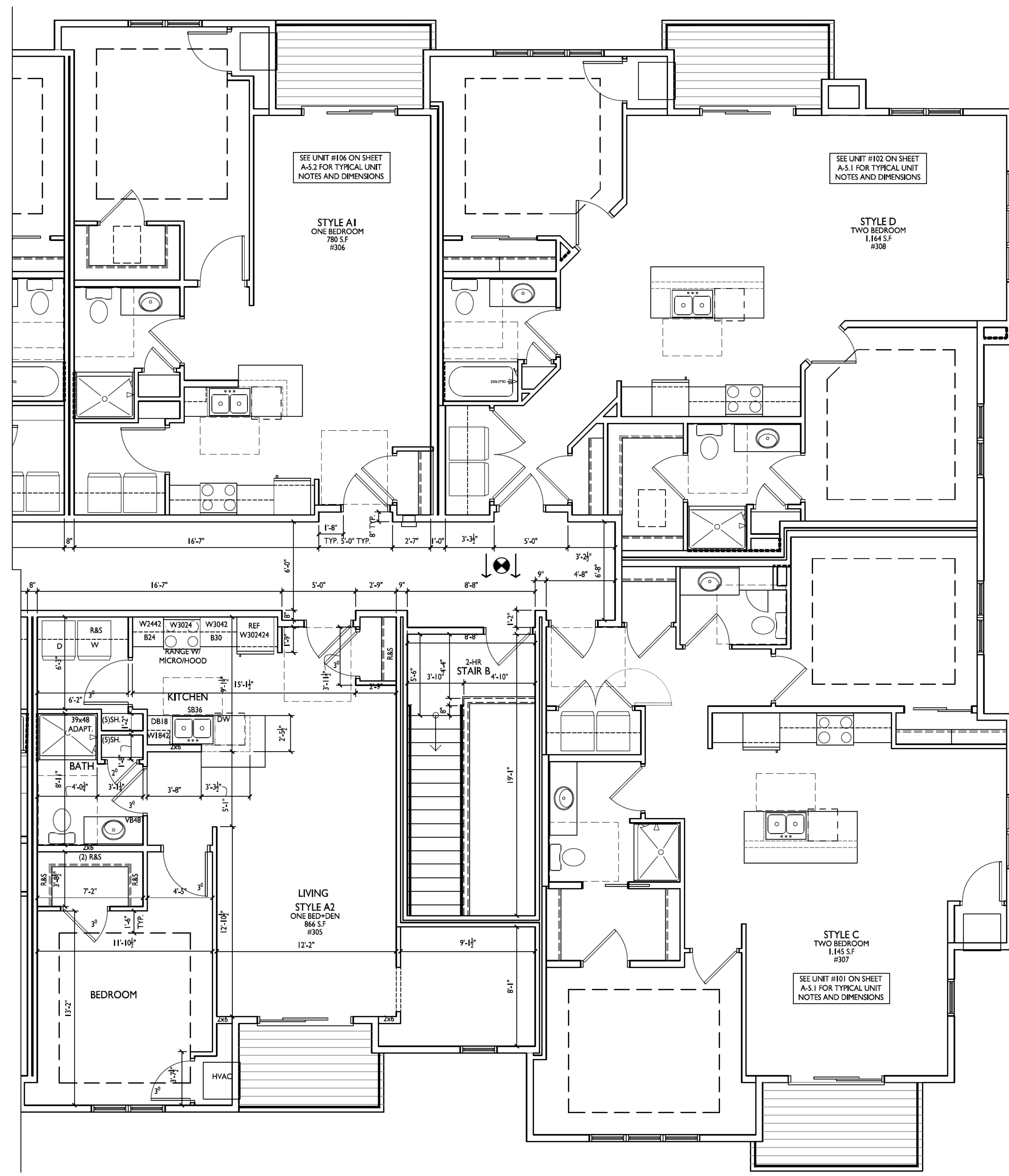
108 Whistle Street  
Marshall, WI  
SHEET TITLE  
**Enlarged Third  
Floor Plan**

SHEET NUMBER

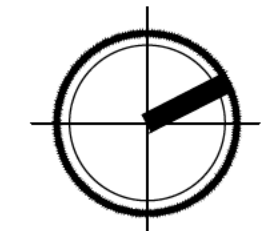
**A-5.6**

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**1** ENLARGED THIRD FLOOR PLAN  
A-5.6 1/4" = 1'-0"



DOOR & SIGNAGE SCHEDULE

MARK X U.N.O.	LOCATION	DOOR		FRAME		FIRE RATING (MINUTES, U.N.O.) *S = SMOKE & DRAFT CONTROL - SEE BELOW	NOTES	SIGNAGE							
		WIDTH	HEIGHT	MATERIAL	DOOR ELEVATION			MATERIAL	FRAME ELEVATION	SIGN LOCATION	SIGN TEXT	TACTILE & BRAILLE LETTERING	ACCESS SYMBOL (NOTE 1)	NOTES	
BASEMENT	B01	STAIR A	3'-0"	6'-8"	HM	B	HM	A	90-S	CLOSER	X	INSIDE STAIR, NEAR DOOR	B, STAIR A, FLOORS B - 3, EXIT UP TO FLOOR 1, NO ROOF ACCESS	X	NOTE 3
	B02	ELEVATOR/STAIR VESTIBULE	3'-0"	6'-8"	HM	B	HM	A	45-S	CLOSER	X	OUTSIDE STAIR	STAIR A (W/ STAIR PICTOGRAM)	X	
	B03	STAIR B	3'-0"	6'-8"	HM	B	HM	A	90-S	CLOSER	X	INSIDE STAIR, NEAR DOOR	B, STAIR B, FLOORS B - 3, EXIT UP TO FLOOR 1, NO ROOF ACCESS	X	NOTE 3
	B04	TRASH ROOM	(2) 3'-0"	6'-8"	HM	AA	HM	A	45-S	CLOSER	X	OUTSIDE ROOM	TRASH ROOM	X	
	B05	EXTERIOR	3'-0"	6'-8"	IM	A	HM	A		CLOSER	X	INSIDE GARAGE	EXIT	X	
	B06	OVERHEAD DOOR	16'-0"	7'-0"	IM	D	N/A	N/A					ISOLATION MOUNTED TRACKS & OPERATOR, NYLON ROLLERS		
	B07	STORAGE UNITS	3'-0"	6'-8"	HCW	A	WD	A			X	OUTSIDE ROOM	(LOCKER NUMBER - PER PLANS)		
	B08	MECHANICAL	3'-0"	6'-8"	HM	A	HM	A	45-S	CLOSER	X	OUTSIDE ROOM	MECHANICAL	X	
	B09	STORAGE	3'-0"	6'-8"	HM	A	HM	A	45-S	CLOSER	X	OUTSIDE ROOM	STORAGE	X	
	B10	ELEVATOR DISCONNECT	3'-0"	6'-8"	HM	A	HM	A	45-S	CLOSER	X	OUTSIDE ROOM	ELEVATOR DISCONNECT	X	
	B11	MECHANICAL	3'-6"	6'-8"	HM	A	HM	A	45-S	CLOSER	X	OUTSIDE ROOM	MECHANICAL	X	
FLOOR 1	I01	STAIR A	3'-0"	6'-8"	SCW	B	HM	A	90-S	CLOSER	X	INSIDE STAIR, NEAR DOOR	1, STAIR A, FLOORS B - 3, EXIT THIS FLOOR, NO ROOF ACCESS	X	NOTE 3
	I02	VESTIBULE	(2) 3'-0"	6'-8"	SCW	AA	HM	AA	90-S	DOOR CLOSER, SMOKE SEALS, MAGNETIC HOLD OPEN TIED TO FIRE ALARM SYSTEM	X	OUTSIDE STAIR	STAIR A (W/ STAIR PICTOGRAM)	X	
	I03	PARCEL	3'-0"	6'-8"	SCW	B	HM	A	20-S	CLOSER	X	OUTSIDE ROOM	PARCEL STORAGE		
	I04	STAIR B	3'-0"	6'-8"	SCW	B	HM	A	90-S	CLOSER	X	INSIDE STAIR, NEAR DOOR	1, STAIR B, FLOORS B - 3, EXIT THIS FLOOR, NO ROOF ACCESS	X	NOTE 3
	I05	EXTERIOR DOOR	3'-0"	6'-8"	HM	C	HM	D		CLOSER					
	I06	EXTERIOR DOOR	3'-0"	6'-8"	HM	C	HM	C		CLOSER					
FLOOR 2	201	STAIR A	3'-0"	6'-8"	SCW	B	HM	A	90-S	CLOSER	X	INSIDE STAIR, NEAR DOOR	2, STAIR A, FLOORS B - 3, EXIT DOWN TO FLOOR 1, NO ROOF ACCESS	X	NOTE 3
	202	MECH.	3'-0"	6'-8"	HM	A	HM	A	20-S	CLOSER	X	OUTSIDE ROOM	MECHANICAL	X	
	203	STAIR B	3'-0"	6'-8"	SCW	B	HM	A	90-S	CLOSER	X	INSIDE STAIR, NEAR DOOR	2, STAIR B, FLOORS B - 3, EXIT DOWN TO FLOOR 1, NO ROOF ACCESS	X	NOTE 3
FLOOR 3	301	STAIR A	3'-0"	6'-8"	SCW	B	HM	A	90-S	CLOSER	X	INSIDE STAIR, NEAR DOOR	3, STAIR A, FLOORS B - 3, EXIT DOWN TO FLOOR 1, NO ROOF ACCESS	X	NOTE 3
	302	MECH.	3'-0"	6'-8"	HM	A	HM	A	90-S	CLOSER	X	OUTSIDE ROOM	MECHANICAL	X	
	303	STAIR B	3'-0"	6'-8"	SCW	B	HM	A	45-S	CLOSER	X	INSIDE STAIR, NEAR DOOR	3, STAIR B, FLOORS B - 3, EXIT DOWN TO FLOOR 1, NO ROOF ACCESS	X	NOTE 3
ALL FLS.	U01	UNIT ENTRY	3'-0"	6'-8"	SCW	A	HM	A	20-S	ALUMINUM THRESHOLD	X	CORRIDOR SIDE	(UNIT NUMBER - PER PLANS)	X	
UNIT INT.		SWING	SEE PLANS	6'-8"	SCW	A	PRE-HUNG	A OR AA							
		POCKET	SEE PLANS	6'-8"	SCW	A	PRE-HUNG	A							

DOOR & SIGNAGE SCHEDULE GENERAL NOTES

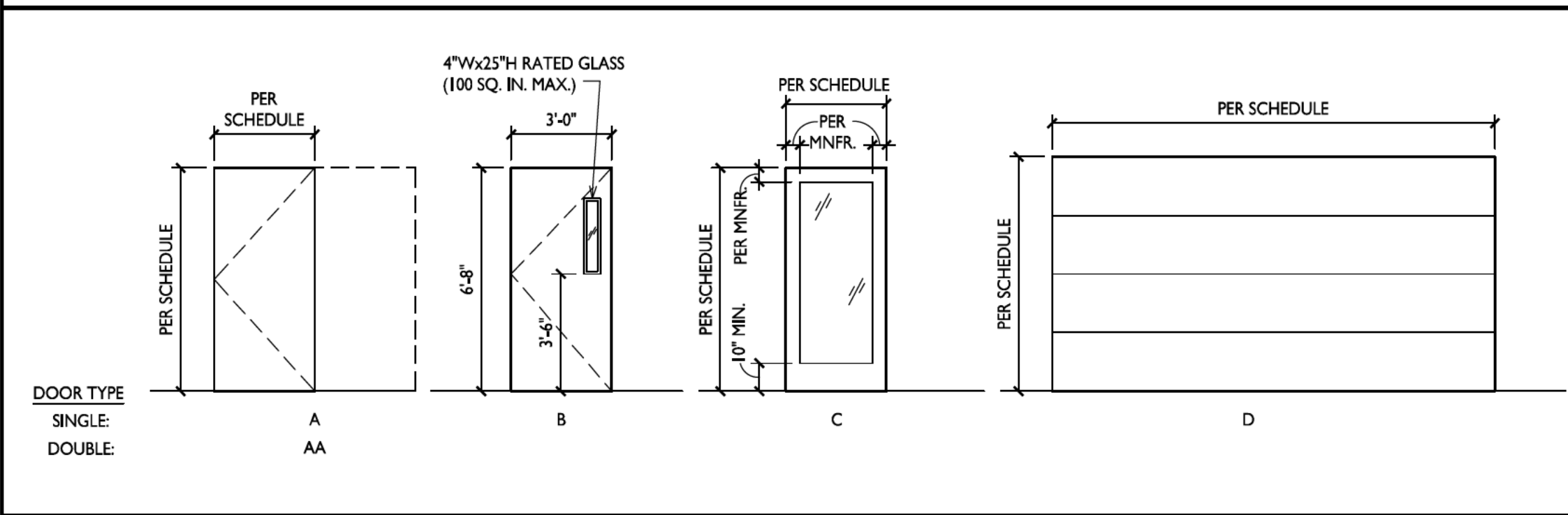
- ALL RATED DOORS TO BE PART OF A LISTED SYSTEM, INCLUDING: DOOR, FRAME, GLAZING, CLOSER & HARDWARE.
  - S LABELED DOORS TO MEET REQUIREMENTS FOR A SMOKE AND DRAFT CONTROL DOOR PER UL 1784 WITH AN ARTIFICIAL BOTTOM SEAL INSTALLED ACROSS THE FULL WIDTH OF THE DOOR ASSEMBLY (IBC SECTION 715.4.3.1)
  - INTERIOR SWINGING DOORS SHALL HAVE 3/4" MAX. UNDERCUT, OR LESS IF REQUIRED BY NFPA 80.
  - PROVIDE TEMPERED SAFETY GLAZING AT ALL WINDOWS/DOOR GLAZING WITHIN 24" OF FLOOR AND ANY WINDOW/ SIDELIGHT ADJACENT TO DOORS.
  - PROVIDE "VENT LOCKS" AS REQUIRED BY CODE OR LOCAL ORDINANCE.
  - PROVIDE PANIC HARDWARE AT ALL EXIT DOORS.
  - GC TO COORDINATE ACCESS CONTROL W/ OWNER.
  - ADDITIONAL SIGNAGE NOT SHOWN IN SCHEDULE INCLUDES:
    - BUILDING IDENTIFICATION / COMMERCIAL SUITE IDENTIFICATION SIGNAGE
    - SIGNAGE FOR AREAS OF REFUGE AND/OR TWO-WAY COMMUNICATION SYSTEMS (SEE SHEET A-5.1)
    - WARNING SIGNAGE FOR ELECTRICAL OR OTHER HAZARDOUS EQUIPMENT
    - PARKING STALL SIGNAGE
    - SIGNAGE PROVIDED BY ELEVATOR MANUFACTURER
  - NOTE 1: INTERNATIONAL SYMBOL OF ACCESSIBILITY TO BE DISPLAYED AT LOCATIONS INDICATED. SIZE, STYLE, LOCATION, AND HEIGHT TO COMPLY WITH ICC/ANSI, SECT. 703
  - NOTE 2: UNIBEX BATHROOM SYMBOL W/ INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIZE, STYLE, LOCATION, AND HEIGHT TO COMPLY WITH ICC/ANSI, SECT. 703
  - NOTE 3: DIRECTIONAL SIGNAGE (INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY) INDICATES ROUTE TO NEAREST LIKE ACCESSIBLE ELEMENT (I.E. FRONT VESTIBULE)
- DOOR SCHEDULE ABBREVIATIONS:
- AL - ALUMINUM
  - HM - HOLLOW METAL
  - IM - INSULATED METAL
  - KD - KNOCK DOWN FRAME
  - SCW - SOLID CORE WOOD
  - HCW - HOLLOW CORE WOOD
  - ACW - ALUMINUM CLAD WOOD
  - WD - WOOD
  - FG - FIBERGLASS



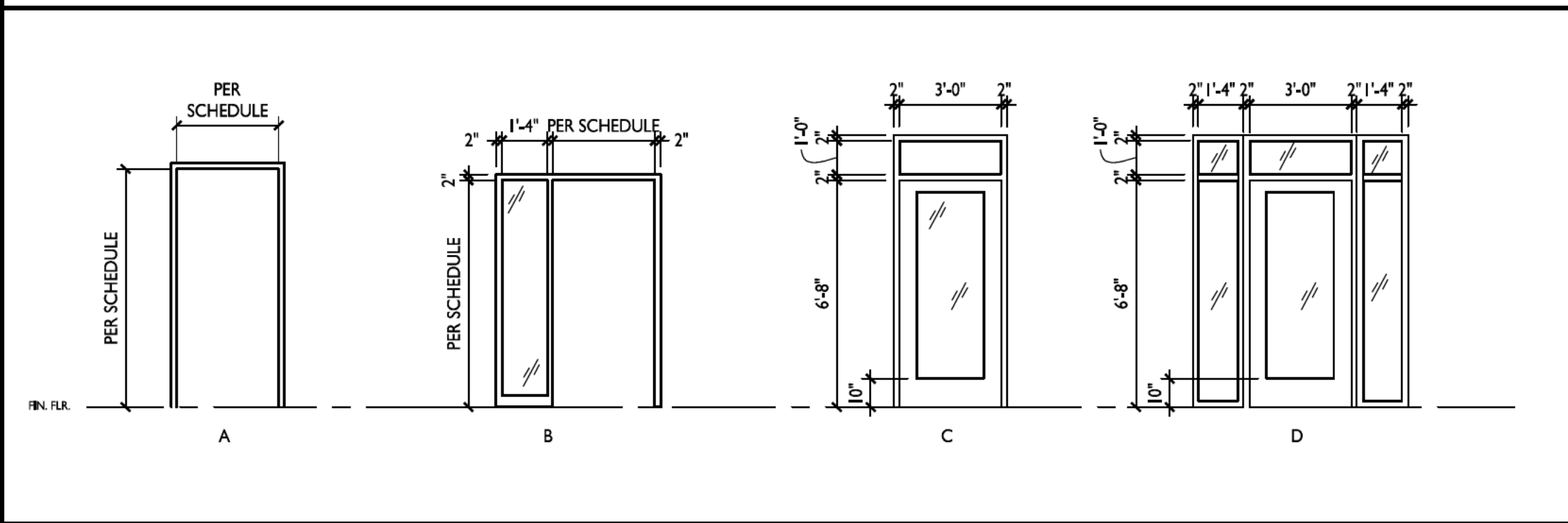
INTERIOR STAIR SIGNAGE EXAMPLE

- GENERAL WINDOW NOTES:
- ELEVATIONS ARE SHOWN FROM EXTERIOR SIDE.
  - PROVIDE TEMPERED SAFETY GLAZING AT ALL WINDOWS/DOOR GLAZING WITHIN 24" OF FLOOR AND ANY WINDOW/ SIDELIGHT ADJACENT TO DOORS
  - RATED, OPAQUE SPANDREL PANELS WHERE SHOWN ON ELEVATIONS
  - GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF SUBSTITUTION OF WINDOW OR DOOR MANUFACTURER OR MODEL PRIOR TO ORDERING PRODUCT
  - GLAZING PANES ARE FIXED UNLESS SHOWN W/ DASHED OPENING LINES OR LABELED OTHERWISE.
  - ALL OPERABLE WINDOWS LESS THAN 36" ABOVE INTERIOR FINISHED FLOOR TO HAVE LIMITERS INSTALLED TO LIMIT MAXIMUM WINDOW OPENING SO A 4" SPHERE CANNOT PASS THROUGH (WINDOWS AT DECKS, ROOF DECKS, AND AT THE FIRST FLOOR ARE EXEMPT).

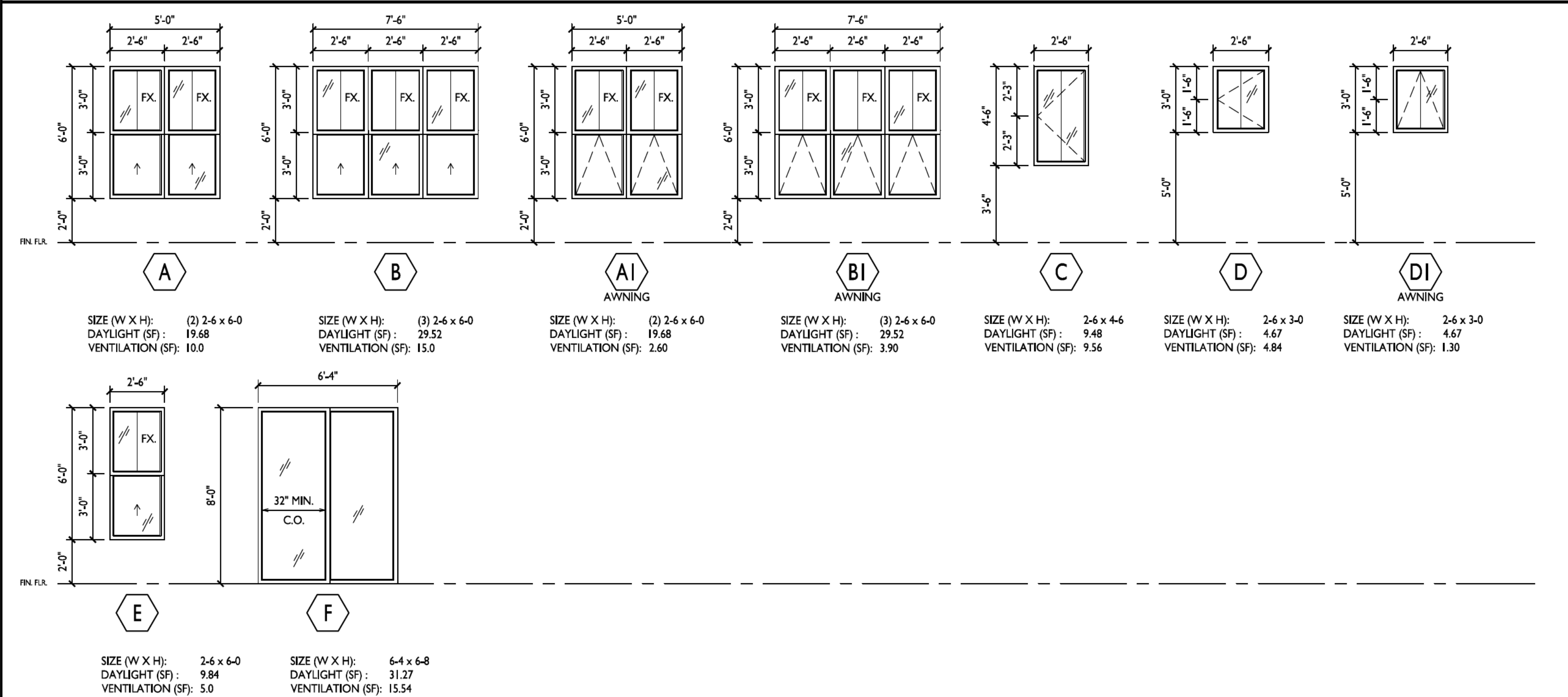
DOOR ELEVATIONS



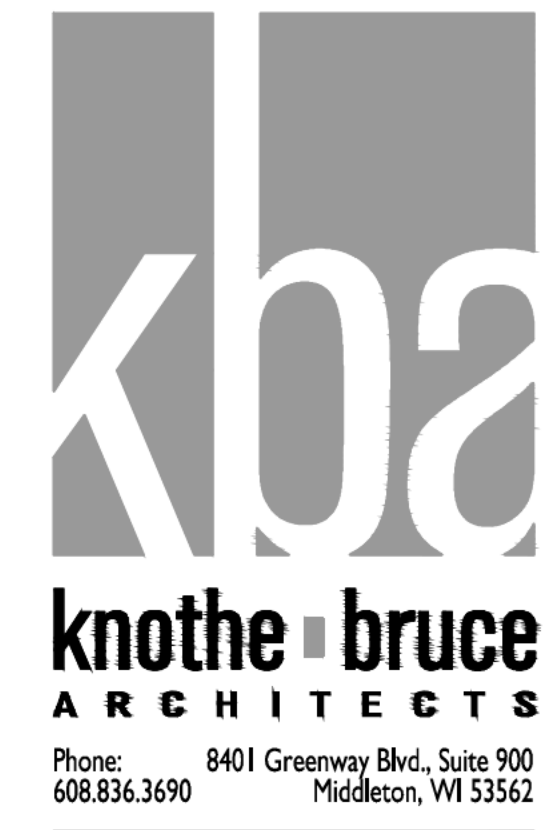
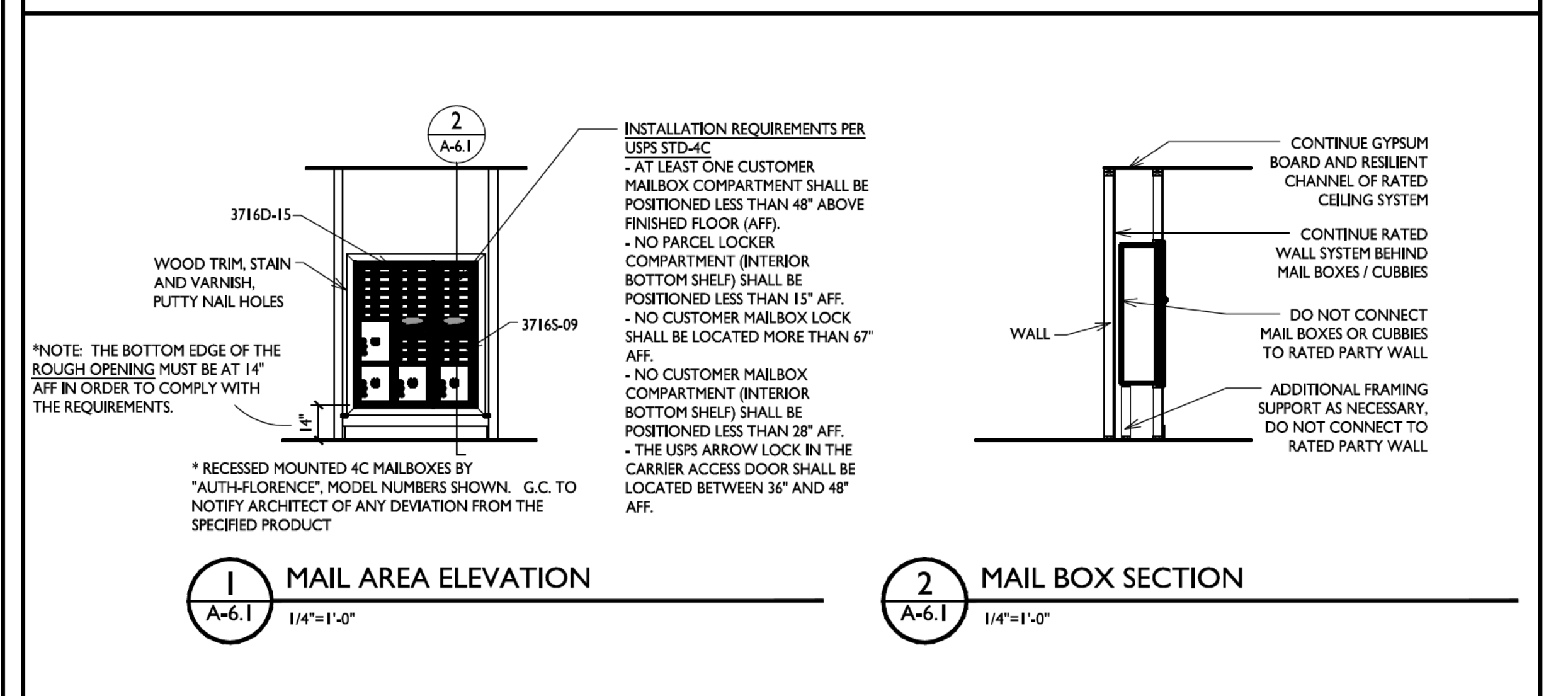
DOOR FRAME ELEVATIONS



WINDOW SCHEDULE (U-VALUE .27 MINIMUM)



MAILBOXES



ISSUED  
Issued For Plan Review - September 11, 2015

PROJECT TITLE  
Whistling Ridge  
Building #3

108 Whistle Street  
Marshall, WI  
SHEET TITLE  
Door & Window  
Schedules

SHEET NUMBER

A-6.1  
PROJECT NO. 2002  
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Page 75 of 118

**GENERAL ACCESSIBILITY NOTES:**

1. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF THE AMERICAN NATIONAL STANDARD: ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, ICC/ANSI A117.1 2009 AND THE FAIR HOUSING ACT DESIGN MANUAL.
2. ALL DIMENSIONS GIVEN ARE CLEAR FINISH SPACES.
3. "CLEAR FLOOR SPACE" (C.F.S.) = 30"x48" AREA FOR WHEELCHAIR ACCESS, U.N.O.
4. THE SPACE REQUIRED FOR A WHEELCHAIR TO MAKE A 180-DEGREE TURN IS A CLEAR SPACE OF 60" DIAMETER OR A T-SHAPED SPACE. SEE DETAIL HC1A-7.1.

**COMMON AREA ACCESSIBILITY NOTES:**

(APPLIES TO ALL PUBLIC / COMMON SPACES)

1. LIGHT SWITCHES AND ENVIRONMENTAL CONTROLS MOUNTED AT 48" MAX A.F.F. TO THE TOP OF OPERABLE COMPONENT. WALL OUTLETS SHALL BE MOUNTED AT 15" MIN. A.F.F. TO THE CENTER LINE OF BOTTOM RECEPTACLE ABOVE FINISH FLOOR. SEE DETAIL HC2/A-7.1.
2. HORIZONTAL WALL-MOUNTED MAILBOXES SHALL COMPLY WITH USPS STD.-4C.
  - MIN. COMPARTMENT SIZE OF 12" W x 15" D x 3" H
  - 1 PARCEL LOCKER FOR EACH 10 CUSTOMER COMPARTMENTS
  - AT LEAST ONE CUSTOMER COMPARTMENT POSITIONED 48" MAX. A.F.F.
  - NO PARCEL LOCKER POSITIONED LESS THAN 15" A.F.F.
  - NO PATRON LOCK POSITIONED ABOVE 67" A.F.F. OR SHELF LESS THAN 28" A.F.F.
  - USPS ARROW LOCK LOCATED BETWEEN 36" AND 48" A.F.F.
3. IF PROVIDED, H.O. DRINKING FOUNTAIN TO HAVE THE LOWER SPOUT AT 36" MAX. A.F.F. AND THE HIGHER SPOUT AT 43" MAX. A.F.F. FIXTURE CANNOT PROTRUDE MORE THAN 4" INTO CIRCULATION PATH. IF PROVIDED AS PART OF THE DRINKING FOUNTAIN, BOTTLE FILLER MUST BE LOCATED OVER THE LOWER PORTION OF THE DRINKING FOUNTAIN.

**ACCESSIBLE ROUTE:**

1. AN ACCESSIBLE ROUTE SHALL CONNECT ALL SPACES AND ELEMENTS.
2. ROUTE HAS 1:20 RUNNING SLOPE MAX. / 1:50 CROSS SLOPE MAX.
3. ROUTE IS STABLE FIRM AND SLP RESISTANT.
4. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" MAX. SHALL BE BEVELED WITH SLOPE OF 1:2 MAX. SEE DETAIL HC3/A-7.1. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE RAMPED PER ANSI 2009.
5. ALL CARPET TO HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE, OR LEVEL CUT/UNLUMP PILE TEXTURE. CARPET PILE SHALL BE 1/2" MAX.
6. OPENINGS IN FLOOR OR GROUND DO NOT ALLOW A 1/2" DIA. SPHERE PASS AND ARE PERPENDICULAR TO PATH OF TRAVEL.
7. ELEMENTS BETWEEN 27" AND 80" A.F.F. SHALL NOT PROJECT MORE THAN 4" INTO ACCESSIBLE ROUTE UNLESS IDENTIFIED WITH A CANE DETECTION ELEMENT. SEE DETAIL HC4/A-7.1.
8. ALL DOORS TO HAVE LEVER TYPE HARDWARE.
9. ALL DOORS, INCLUDING BOTH LEAVES OF DOUBLE LEAF DOORS, SHALL HAVE ALL OPERATING HARDWARE BETWEEN 34" & 48" A.F.F.
10. FIRE DOORS SHALL HAVE THE MIN. OPENING FORCE ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY. THE MAXIMUM OPENING FORCE FOR DOORS OTHER THAN FIRE DOORS SHALL BE 5 LBS OF FORCE TO OPERATE.
11. DOOR CLOSERS SHALL BE ADJUSTED SO THAT DOOR TAKES 5 SECONDS MINIMUM TO CLOSE FROM AN OPEN POSITION OF 90 DEGREES TO AN OPEN POSITION OF 12 DEGREES.
12. SPRING HINGES SHALL BE ADJUSTED SO THAT THE DOOR TAKES 1.5 SECONDS MINIMUM TO CLOSE FROM AN OPEN POSITION OF 70 DEGREES.
13. BRAILLE LETTERING, IN CONJUNCTION WITH VISUAL SIGNAGE, COMPLYING WITH ICC/ANSI 703 SHALL BE USED ALONG ALL ACCESSIBLE ROUTES, INCLUDING, OUTSIDE ELEVATOR DOORS AND AT DOORS TO EXIT STAIRWAYS. EACH DOOR TO AN EGRESS STAIR WAY AND EXIT DISCHARGE SHALL HAVE A TACTILE SIGN INCLUDING RAISED LETTERS AND BRAILLE STATING "EXIT". STAIR LEVEL IDENTIFICATION W/ TACTILE CHARACTERS PROVIDED AT EACH FLOOR LANDING. EXIT DOOR DISCHARGING TO OUTSIDE OF LEVEL OF DISCHARGE HAS TACTILE SIGN STATING "EXIT".
14. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE DISPLAYED AT ACCESSIBLE ENTRANCES, ACCESSIBLE COMMON BATHROOMS, AND ACCESSIBLE PARKING SPACES. THE SIZE, STYLE, LOCATION, AND HEIGHT OF THE SYMBOL SHALL COMPLY WITH ICC/ANSI: 703.
15. DIRECTIONAL SIGNAGE (INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY) INDICATING THE ROUTE TO THE NEAREST LIKE ACCESSIBLE ELEMENT WITHIN THE BUILDING SHALL BE PROVIDED AT INACCESSIBLE BUILDING ENTRANCES AND INACCESSIBLE EXITS.

**TWO-WAY COMMUNICATION:**

1. TWO-WAY COMMUNICATION SYSTEMS (INCLUDING THE BUILDING ENTRY INTERCOM AND THOSE AT AREAS OF REFUGE) SHALL PROVIDE BOTH VISUAL AND AUDIBLE SIGNALS. IF PROVIDED, HANDSET CORDS SHALL BE 29" MIN. LONG.

\*AT ALL ELEVATOR LANDINGS EXCEPT ENTRY LEVEL:

2. PROVIDE TWO-WAY COMMUNICATION SYSTEM PER IBC 1009.8. INSTRUCTIONS ON THE USE OF THE AREA UNDER EMERGENCY CONDITIONS SHALL BE POSTED ADJOINING THE COMMUNICATIONS SYSTEM. THE INSTRUCTIONS SHALL INCLUDE ALL OF THE FOLLOWING:
  - DIRECTIONS FOR USE OF THE EMERGENCY COMMUNICATIONS SYSTEM
  - WRITTEN IDENTIFICATION OF THE LOCATION
  - DIRECTIONS TO FIND OTHER MEANS OF ACCESSIBLE EGRESS

**AREA OF REFUGE REQUIREMENTS (WHERE SHOWN ON DRAWINGS):**

1. 30" x 48" CLEAR FLOOR SPACE OUTSIDE PATH OF TRAVEL.
2. PROVIDE TWO-WAY COMMUNICATION SYSTEM WITH VISUAL AND AUDIBLE SIGNALS PER IBC 1009.8. INSTRUCTIONS ON THE USE OF THE COMMUNICATION SYSTEM SHALL BE POSTED.
3. EACH DOOR PROVIDING ACCESS TO AN AREA OF REFUGE FROM AN ADJACENT FLOOR AREA SHALL HAVE THE FOLLOWING:
  - A SIGN COMPLYING WITH ICC/ANSI STATING: "AREA OF REFUGE", INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY
  - AREA OF REFUGE SIGN SHALL BE ILLUMINATED
  - TACTILE SIGNAGE COMPLYING WITH ICC/ANSI

**KITCHENS (COOKTOP / RANGE / OVEN PROVIDED) - SEE DETAILS HC11 / A-7.2:**

1. A WORK SURFACE 30" MIN. IN LENGTH WITH A 30"x48" CFS UNDER COUNTER TOP FOR FORWARD APPROACH SHALL BE PROVIDED ADJACENT TO AN OVEN. IF ONLY A COOKTOP IS PROVIDED, 30" WORK SURFACE MAY BE LOCATED ANYWHERE WITHIN THE KITCHEN.
2. THE DISH-WASHER DOOR IN THE OPEN POSITION SHALL NOT OBSTRUCT THE CLEAR FLOOR SPACE FOR THE DISH-WASHER OR THE SINK.
3. SINK MOUNTED AT 34" MAX. A.F.F. SINK DRAIN AND GARBAGE DISPOSAL TO BE OFFSET. SINK TO HAVE 6 1/2" MAX. BOWL DEPTH. AT A DOUBLE SINK, ONLY ONE BOWL NEEDS TO HAVE 6 1/2" MAX DEEP BOWL. AT LEAST ONE BOWL MUST HAVE A 30"x48" CFS UNDER THE SINK FOR FORWARD APPROACH.
4. SINK FAUCET TO HAVE SINGLE-LEVER TYPE HARDWARE. FAUCETS TO BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5lbs. MAX.
5. PROVIDE ANTI-SCALD DEVICES ON ALL SINK FAUCETS. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER SINKS AND COUNTERTOPS. EXPOSED SUPPLY AND DRAIN PIPES UNDER SINKS TO BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT.
6. COMBINATION REFRIGERATOR FREEZERS SHALL HAVE AT LEAST 50 PERCENT OF THE FREEZER SPACE 34" MAX. ABOVE THE FLOOR. DOOR HANDLES AND AND OPERABLE PARTS (E.G. ICE AND WATER DISPENSERS) TO BE 48" MAX. A.F.F.
7. ALL APPLIANCES MUST COMPLY WITH THE REACH RANGES OF SECTION 308.
8. COUNTER AND SUPPORTING STRUCTURE TO BE 2" THICK MAX.
9. DOOR PULLS AND KNOBS TO BE MOUNTED AS CLOSE TO THE BOTTOM OF WALL CABINETS AS POSSIBLE. DOOR PULLS AND KNOBS TO BE MOUNTED AS CLOSE TO THE TOPS OF BASE CABINETS AS POSSIBLE.
10. ELECTRICAL RECEPTACLES, SWITCHES, AND APPLIANCE CONTROLS AT KITCHEN COUNTERTOPS MUST BE MOUNTED 1) ON FACE OF CABINETS, 2) ON SIDE WALL 18" FROM CLEAR FLOOR SPACE OR 3) ON BACK WALL BEHIND 34" HIGH CABINETS. FOR EACH LENGTH OF COUNTERTOP (UNINTERRUPTED BY AN APPLIANCE OR SINK) THAT HAS ACCESSIBLE RECEPTACLES, ONE NON-ACCESSIBLE RECEPTACLE CAN BE ADDED.
  - \*EXCEPTIONS FOR KITCHENETTES / WET BARS / COFFEE COUNTERS (COOK TOP / RANGE / OVEN NOT PROVIDED):

1. SINKS, APPLIANCES AND OTHER ELEMENTS MAY HAVE A 30"x48" CFS FOR SIDE APPROACH. BASE CABINTRY MAY BE PROVIDED IN ALL AREAS OF A KITCHENETTE.
2. 30" MIN. WORK SURFACE WITH A 30"x52" FORWARD APPROACH IS NOT REQUIRED.

**BATHROOMS - SEE DETAILS HC9 & HC10 / A-7.2:**

1. PROVIDE MANEUVERING CLEAR FLOOR SPACE AT BATHROOM FIXTURES AS INDICATED ON DIAGRAMS AND FLOOR PLANS.
2. PROVIDE A 30"x48" CLEAR FLOOR SPACE WITHIN THE BATHROOM OUTSIDE THE SWING OF THE DOOR.
3. TOILETS SHALL HAVE GRAB BARS INSTALLED PER DETAILS. SEE DETAIL HC6/A7.2 FOR GRAB BAR BLOCKING DIAGRAMS.
4. PROVIDE ANTI-SCALD DEVICES ON ALL LAVATORY FAUCETS. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
5. ACCESSIBLE TOILET SEAT HEIGHT TO BE 17"-19" ABOVE FINISH FLOOR. SEATS SHALL NOT BE SPRUNG TO RETURN TO A LIFTED POSITION.
6. CENTERLINE OF TOILET IS 17" FROM NEAREST SIDE WALL.
7. FLUSH CONTROLS TO BE ON OPEN SIDE OF WATER CLOSET.
8. INSTALL TOILET PAPER DISPENSER ON SIDE WALL, 32"-38" FROM FACE OF BACK WALL TO CENTER OF DISPENSER, AND 24" A.F.F. TO CENTER OF DISPENSER.
9. LAVATORIES SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACE, WHICHEVER IS HIGHER, AT 34" MAX. ABOVE FINISH FLOOR. 30" MIN. WIDE CLEAR FLOOR SPACE UNDER SINK FOR FORWARD APPROACH.
10. SINK DRAIN TO BE OFFSET. EXPOSED SUPPLY AND DRAIN PIPES UNDER SINK TO BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORY. SEE DETAIL HC7/A-7.2.
11. FAUCET TO HAVE SINGLE-LEVER TYPE HARDWARE. FAUCETS TO BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5lbs. MAX.
12. HAND-OPERATED METERING FAUCETS SHALL REMAIN OPEN FOR 10 SECONDS MIN.
13. SINK TO HAVE 6 1/2" MAX. BOWL DEPTH. SEE DETAIL HC7/A-7.2.
14. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM REFLECTIVE SURFACE AT 40" MAX. A.F.F. AND THE TOP OF MIRROR 74" MIN. A.F.F. SEE DETAIL HC7/A-7.2.
15. OPERABLE PARTS ON TOWEL DISPENSERS / HAND DRYERS TO BE 48" MAX. A.F.F. AND COMPLY W/ ICC/ANSI: 603.6.
16. OPERABLE PARTS ON FAUCETS AND SOAP DISPENSERS FOR LAVATORIES WITH ENHANCED REACH RANGE SHALL HAVE A REACH DEPTH OF 11" MAX. AND COMPLY WITH ICC/ANSI: 606.5.

**"TYPE A" ACCESSIBLE UNIT NOTES:**

THE FOLLOWING NOTES ARE REQUIRED IN ADDITION TO GENERAL UNIT ACCESSIBILITY NOTES. APPLY TO UNITS #205 & #207

**GENERAL:**

1. CLOSETS WITH ADJUSTABLE RODS AND SHELVING, MOUNTED @ 48" MAX. A.F.F.
2. ALL PLUMBING CONTROLS TO HAVE LEVER TYPE HARDWARE. FAUCETS TO BE OPERABLE WITH ONE HAND AND NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 lbs. MAX.
3. ALL WINDOW & DOOR LOCKS TO HAVE OPENING / CLOSING AND SINGLE POINT LOCKING HARDWARE @ 48" A.F.F. MAX. AND 15" A.F.F. MIN.

**ACCESSIBLE DOORS:**

1. UNIT ENTRY DOOR TO HAVE AN ADDITIONAL DOOR VIEWER (PEEPHOLE) MOUNTED AT 43" A.F.F.
2. ALL USER PASSAGE DOORS WITHIN THE UNIT AND DOORS TO CLOSETS DEEPER THAN 34" WITHIN THE UNIT MUST HAVE A CLEAR WIDTH OF 32" MIN. WITH DOOR OPEN TO 90 DEGREES (REQUIRES A 3'-0" DOOR) AND LEVER TYPE HARDWARE.
3. AT DOUBLE LEAF DOORS, AT LEAST ONE DOOR MUST HAVE A CLEAR OPENING OF 34".

**KITCHEN - SEE DETAILS HC11 / A-7.2:**

1. ELECTRICAL RECEPTACLES, SWITCHES, AND APPLIANCE CONTROLS INCLUDING RANGE HOOD FAN & LIGHT AT KITCHEN COUNTERTOPS MUST BE MOUNTED 1) ON FACE OF CABINETS, 2) ON SIDE WALL 18" FROM CLEAR FLOOR SPACE, OR 3) ON BACK WALL BEHIND 34" HIGH CABINETS. FOR EACH LENGTH OF COUNTERTOP (UNINTERRUPTED BY AN APPLIANCE OR SINK) THAT HAS ACCESSIBLE RECEPTACLES, ONE NON-ACCESSIBLE RECEPTACLE CAN BE ADDED.
2. WHERE MICROWAVE/HOOD IS PROVIDED, ELECTRICIAN TO WIRE SWITCHED OUTLET FOR STANDARD RANGE HOOD. SECOND OUTLET TO BE PROVIDED FOR MICROHOOD. CONTRACTOR TO PROVIDE OWNER W/ STANDARD HOOD TO KEEP ON SITE FOR FUTURE INSTALLATION IF REQUESTED BY TENANT.
3. COMBINATION REFRIGERATOR FREEZERS SHALL HAVE AT LEAST 50 PERCENT OF THE FREEZER SPACE 34" MAX. ABOVE THE FLOOR. DOOR HANDLES AND AND OPERABLE PARTS (E.G. ICE AND WATER DISPENSERS) TO BE 48" MAX. A.F.F.
4. PROVIDE SLIDE-IN RANGE WITH ANTI-TIP HARDWARE. FRONT CONTROL RANGES WITH SELF-CLEANING OVENS.
5. PROVIDE "WORK SURFACE" AREA OF COUNTERTOP THAT IS 30" WIDE MIN. AND 34" MAX. ABOVE FINISH FLOOR WITH CLEARANCES. PROVIDE REMOVABLE BASE CABINTRY SIMILAR TO DETAIL HC3/A-7.1. FLOOR AND WALL FINISHES TO EXTEND UNDER WORK SURFACE TO WALL.
6. KITCHEN CABINETS SHALL HAVE A CLEAR FLOOR SPACE AT LEAST 30" x 48" TO ALLOW EITHER FORWARD OR PARALLEL APPROACH.
7. SINK MOUNTED AT 34" MAX. ABOVE FINISH FLOOR. 30" MIN. CLEAR WIDTH UNDER SINK WITH CLEARANCES PER DETAILS. PROVIDE REMOVABLE BASE CABINTRY SIMILAR TO DETAIL HC3/A-7.1. FLOOR AND WALL FINISHES TO EXTEND UNDER SINK TO WALL.
8. SINK DRAIN AND GARBAGE DISPOSAL TO BE OFFSET.
9. SINK TO HAVE 6 1/2" MAX. BOWL DEPTH. AT A DOUBLE BOWL SINK, ONLY ONE BOWL NEEDS TO HAVE 6 1/2" MAX. BOWL DEPTH. SEE DETAIL HC7/A-7.2.

**LAUNDRY - SEE DETAILS HC8 / A-7.2:**

1. PROVIDE FRONT LOADING WASHERS AND DRYERS WITH FRONT MOUNTED CONTROLS. BOTTOM OF OPENING TO LAUNDRY COMPARTMENT TO BE 15" MIN. AND 34" MAX. ABOVE FINISH FLOOR. ADD PERMANENT BASE TO RAISE APPLIANCES IF NECESSARY.

**BATHROOMS - SEE DETAILS HC6, HC7, HC9 & HC10 / A-7.2:**

1. PROVIDE REINFORCING IN WALLS FOR FUTURE GRAB BAR AND SEAT INSTALLATION AT LOCATIONS AS SHOWN IN DETAIL HC6/A-7.2. COORDINATE EXACT DIMENSIONS OF GRAB BARS WITH REINFORCING REQUIREMENTS BEFORE INSTALLING REINFORCING. PROVIDE REINFORCING 2" MINIMUM ABOVE & BELOW GRAB BAR CENTERLINES AND NOT LESS THAN 2" BEYOND CENTER OF MOUNTING FLANGE TO NEXT STUD.
2. IF GRAB BARS ARE PROVIDED AND INSTALLED, INSTALL PER DETAILS HC9/A-7.2.
3. VANITY SINK TO HAVE 30" MIN. WIDE CLEAR FLOOR SPACE BELOW FOR FORWARD APPROACH. BASE CABINTRY AT SINK TO BE REMOVABLE WITHOUT REMOVAL OR REPLACEMENT OF COUNTER TOP - SEE DETAIL HC3/A-7.1. EXTEND FLOOR AND WALL FINISHES UNDER REMOVABLE BASE CABINTRY.
4. VANITY TOPS SHALL BE 34" MAX. ABOVE FINISH FLOOR. SEE HC7/A-7.2.
5. SINK DRAIN TO BE OFFSET. EXPOSED SUPPLY AND DRAIN PIPES UNDER SINK TO BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. SEE HC7/A-7.2.
6. SINK BOWL DEPTH NOT TO EXCEED 6 1/2". WHEN MORE THAN ONE SINK IS PROVIDED, ONLY ONE NEEDS TO BE ACCESSIBLE. SEE DETAIL HC7/A-7.2.
7. BATH TUBS AND SHOWERS TO HAVE HAND-HELD SHOWER SPRAY UNIT ON MIN. 59" LONG HOSE WITH NON-OPERATIVE SHUT-OFF FEATURE ON CONTROL HEAD.
8. SHOWER THRESHOLD IS 1/2" MAX. AND COMPLIES UNDER "ACCESSIBLE ROUTE" GUIDELINES.
9. ANY SHOWER ENCLOSURE SHALL NOT OBSTRUCT SHOWER CONTROLS OR TRANSFER FROM WHEELCHAIR.
10. TOILET SEAT HEIGHT TO BE 17"-19" ABOVE FINISH FLOOR.
11. WATER CLOSETS SHALL HAVE THE FOLLOWING CLEARANCES: 1'-5" ABSOLUTE FROM CENTER LINE OF FIXTURE TO THE ADJACENT WALL AND 1'-6" MIN. FROM THE CENTER LINE OF FIXTURE TO THE ADJOINING VANITY. SEE DETAIL HC10/A-7.2.
12. INSTALL TOILET PAPER DISPENSER ON SIDE WALL, 32"-38" FROM FACE OF BACK WALL TO CENTER OF DISPENSER, AND 24" A.F.F. TO CENTER OF DISPENSER. SEE DETAIL HC6/A-7.2.
13. MIRROR OVER VANITY TO BE 36" WIDE MIN. WITH THE BOTTOM OF THE REFLECTIVE SURFACE AT NO MORE THAN 40" A.F.F. MEDICINE CABINET AT 40" TO LOWEST SHELF OF CABINET.
14. SHOWER COMPARTMENTS SHALL HAVE INTERIOR CLEAR DIMENSIONS OF 36"x36" ABSOLUTE FOR A TRANSFER SHOWER OR 30" MIN. x 60" MIN. FOR A ROLL-IN SHOWER. SEE DETAIL HC9/A-7.2.

**"TYPE B" DWELLING UNIT NOTES:**

ALL DWELLING UNITS SHALL MEET THESE REQUIREMENTS

**ACCESSIBLE DOORS:**

1. ALL UNIT ENTRY DOORS ARE TO BE ACCESSIBLE PROVIDING 32" CLEAR OPENING WHEN DOOR IS OPEN TO 90 DEGREES (REQUIRES 3'-0" DOOR) AND LEVER TYPE HARDWARE.
2. DOOR CLOSERS SHALL BE ADJUSTED SO THAT DOOR TAKES 5 SECONDS MINIMUM TO CLOSE FROM AN OPEN POSITION OF 90 DEGREES TO AN OPEN POSITION OF 12 DEGREES.
3. SPRING HINGES SHALL BE ADJUSTED SO THAT THE DOOR TAKES 1.5 SECONDS MINIMUM TO CLOSE FROM AN OPEN POSITION OF 70 DEGREES.
4. USER PASSAGE DOORS TO HAVE A 32" MIN. CLEAR OPENING (REQUIRES A 2'-10" DOOR).
5. AT DOUBLE LEAF DOORS, BOTH DOORS MAY COUNT TOWARD THE REQUIRED CLEARANCE WIDTH IF THE DOOR LATCHES OF THE SECONDARY DOOR LEAF IN PLACE IS WITHIN 15" MIN. TO 48" MAX. A.F.F.

**KITCHENS:**

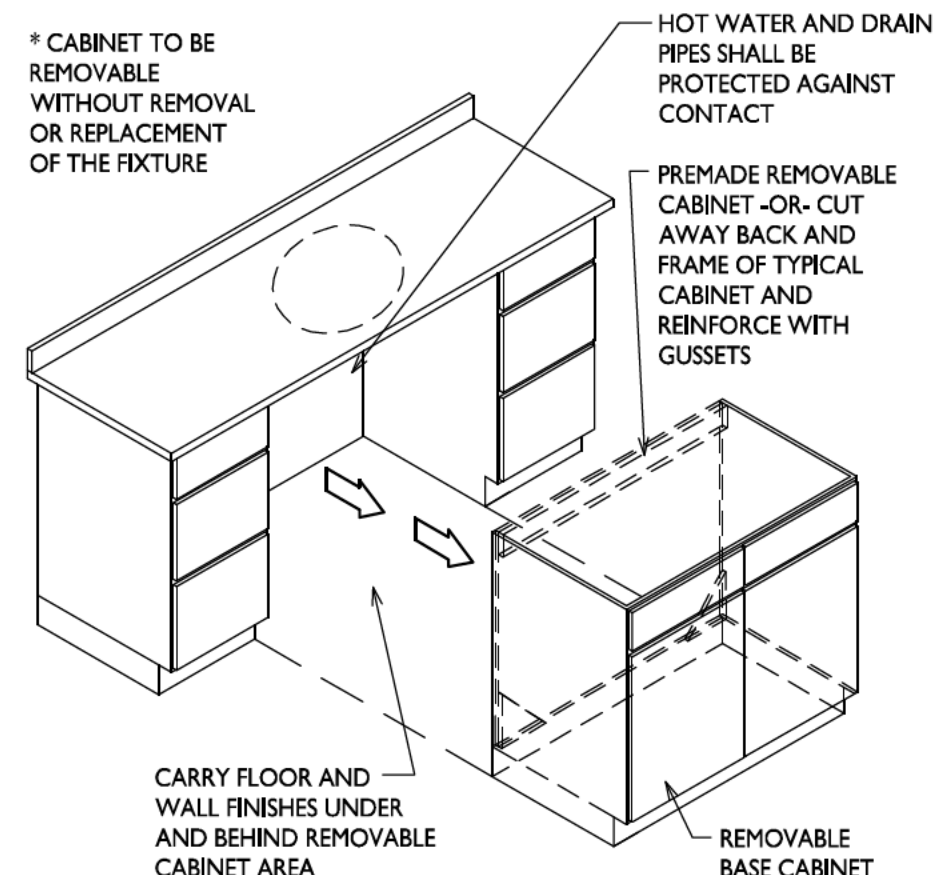
1. PROVIDE 30"x48" CLEAR FLOOR SPACE FOR PARALLEL APPROACH AT SINK AND APPLIANCES AS SHOWN ON PLANS.
2. PROVIDE SLIDE-IN RANGE.

**LAUNDRY - SEE DETAILS HC8 / A7.2:**

1. WASHERS AND DRYERS TO HAVE FLEXIBLE HOSE AND VENT (METAL) CONNECTIONS ALLOWING UNITS TO BE PUSHED FORWARD TO BE FLUSH WITH OUTSIDE FACE OF LAUNDRY CLOSET WHERE APPLICABLE.
2. SEE DETAILS FOR CLEARANCES FOR THE DIFFERENT TYPES OF WASHERS AND DRYERS (FRONT LOADING VS. TOP LOADING).

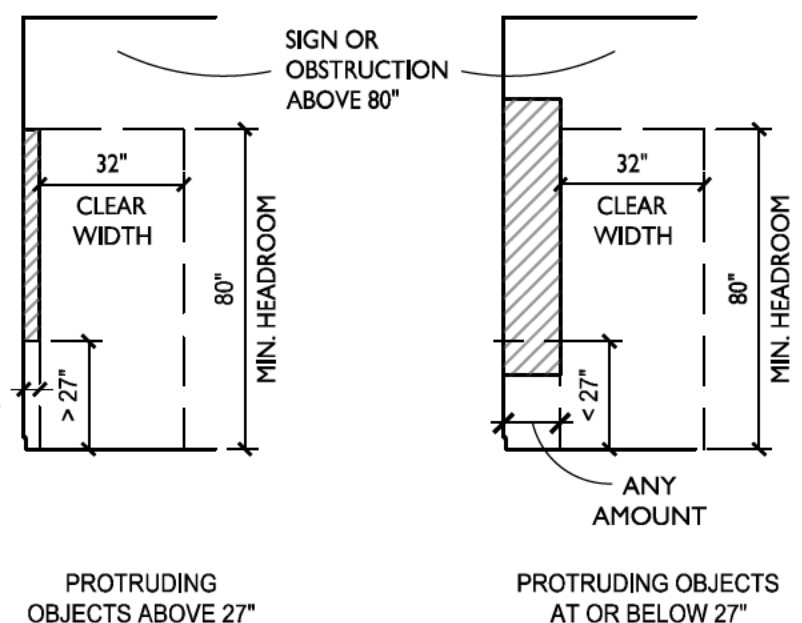
**BATHROOMS - SEE DETAILS HC6 & HC10 / A-7.2:**

1. PROVIDE 30"x48" MANEUVERING CLEAR FLOOR SPACE IN FRONT OF BATHROOM FIXTURES AS INDICATED ON FLOOR PLANS AND IN DETAILS.
2. PROVIDE A 30"x48" CLEAR FLOOR SPACE WITHIN THE BATHROOM OUTSIDE THE SWING OF THE DOOR. IF TWO DOORS ARE PROVIDED, CFS NEEDS TO BE OUTSIDE THE SWING OF ONLY ONE DOOR.
3. ALL BATHTUBS AND SHOWERS TO HAVE PERMANENT NON-SKID PATTERN COVERING 75% MIN. OF THE TUB/SHOWER FLOOR.
4. OFFSET BATHTUB & SHOWER CONTROLS REQUIRED. CENTERLINE OF CONTROLS SHALL BE LOCATED 9" FROM EDGE OF ADJOINING HEADWALL.
5. FLUSH CONTROLS TO BE ON OPEN SIDE OF WATER CLOSET.
6. BATHTUBS AND SHOWERS SHALL DELIVER WATER THAT IS 120° F MAX.
7. SHOWER CONTROLS, INCLUDING HAND HELD-SHOWER CONTROLS, TO BE LOCATED BETWEEN 38" MIN. AND 48" MAX. A.F.F. SEE DETAIL.
8. BATHTUB CONTROLS TO BE LOCATED BELOW FUTURE HORIZONTAL GRAB BAR.
9. VANITIES AND LAVATORIES SHALL HAVE A MINIMUM OF 24" FROM THE CENTERLINE OF THE FIXTURE TO THE ADJOINING WALL. POSITIONED FOR PARALLEL APPROACH. WHERE TWO SINK BOWLS ARE PROVIDED, ONLY ONE MUST MEET THE CLEARANCE REQUIREMENTS.
10. PROVIDE REINFORCEMENT FOR FUTURE INSTALLATION OF GRAB BARS AT TOILET, TUB AND SHOWER MODULES. SEE DETAIL HC6/A-7.2.
11. BATHROOMS WITH LAVATORY, TOILET AND TUB/SHOWER ON ONE WALL (ANSI OPTION A):
12. REINFORCEMENT FOR SWING-UP GRAB BAR TO BE PROVIDED BETWEEN TOILET AND THE ADJACENT BATHTUB OR SHOWER. SEE DETAIL HC6/A-7.2.
13. TOILETS SHALL HAVE THE FOLLOWING CLEARANCES: 1'-6" MIN. FROM THE CENTERLINE OF FIXTURE TO AN ADJACENT BATHTUB OR SHOWER AND 1'-7" MINIMUM FROM THE CENTERLINE OF FIXTURE TO AN ADJACENT VANITY. 1'-4" MIN. CLEARANCE IF BLOCKING FOR SWING-UP GRAB BAR IS PROVIDED.
14. BATHROOMS WITH LAVATORY AND TOILET ON ONE WALL AND TUB/SHOWER ON THE OPPOSITE WALL (ANSI OPTION B):
15. WATER CLOSETS SHALL HAVE THE FOLLOWING CLEARANCES: 1'-5" ABSOLUTE FROM AN ADJACENT WALL AND 1'-4" MINIMUM FROM THE CENTERLINE OF FIXTURE TO AN ADJACENT VANITY.
16. PROVIDE REINFORCEMENT AT TOILET PER DETAIL HC6/A-7.2.
17. LAVATORY HEIGHT SHALL BE 34" MAX. A.F.F. - IF THERE IS MORE THAN ONE BATHROOM IN THE UNIT, THEN ONLY ONE OPTION B BATHROOM MUST MEET THIS REQUIREMENT. SEE PLANS.



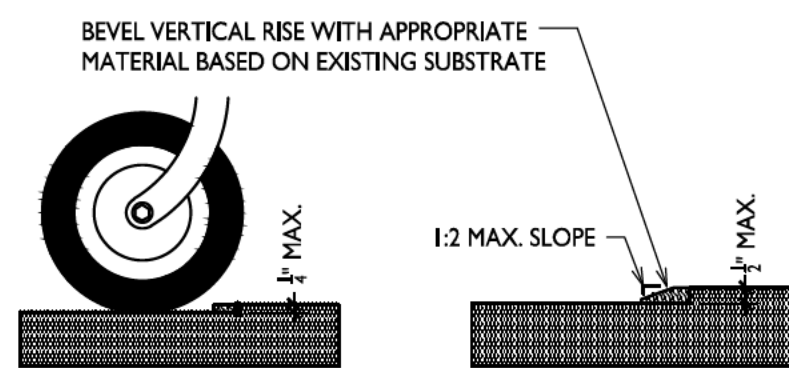
**HC5 A-7.1** N.T.S. REMOVABLE BASE CABINET

NOTE: IF CLEAR WIDTH IS REDUCED TO LESS THAN 36" WIDE BY WALL HUNG OBJECT, THAT OBJECT MAY NOT ENCR OACH MORE THAN 4" NOR BE MORE THAN 24" WIDE.

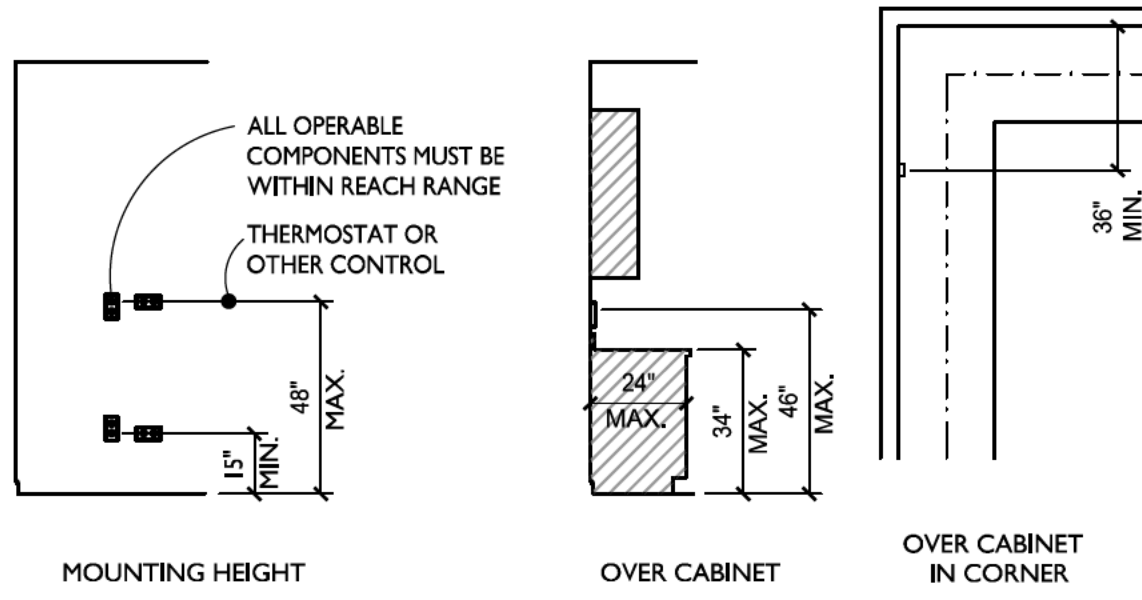


**HC4 A-7.1** N.T.S. PROJECTING OBJECTS

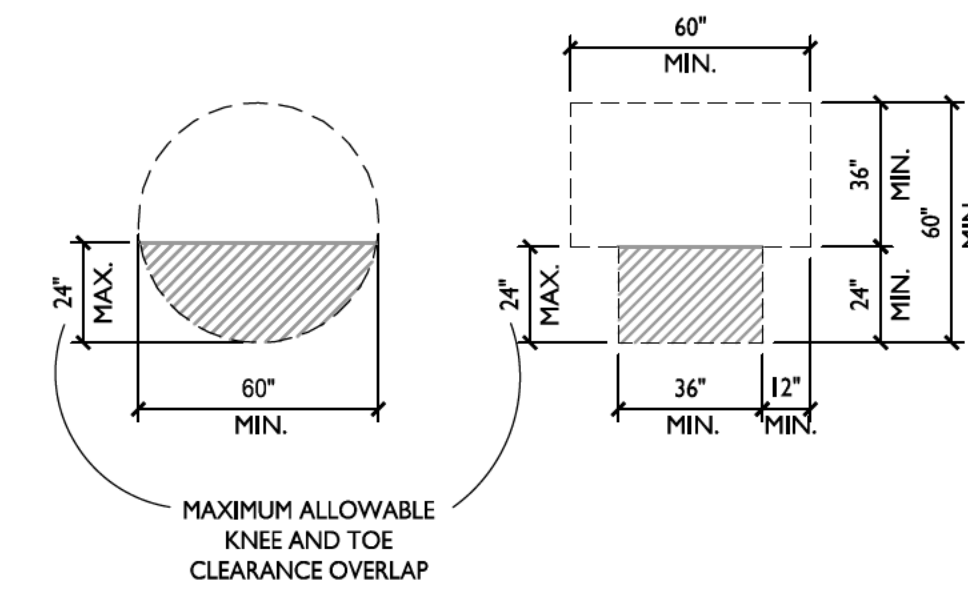
\*EXCEPTION FOR SLIDING PATIO DOORS IN DWELLING UNITS: A 3/4" THRESHOLD IS ALLOWED PROVIDED IT IS BEVELED WITH A SLOPE NOT GREATER THAN 1:2



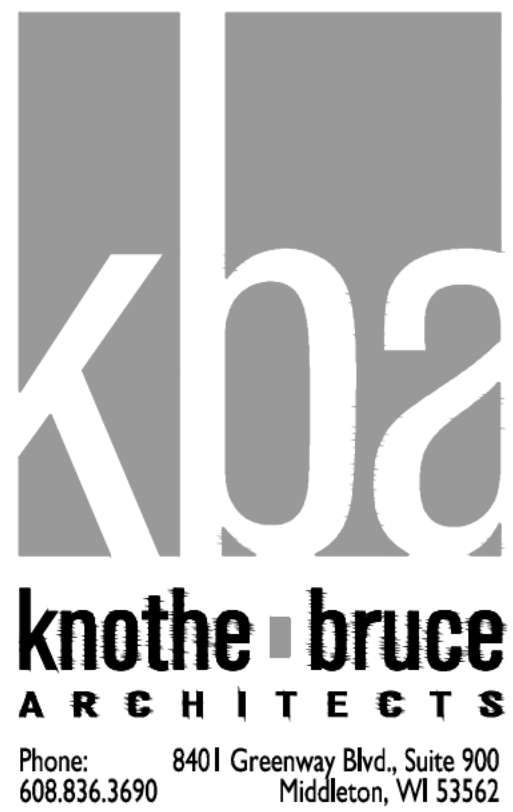
**HC3 A-7.1** N.T.S. CHANGES IN LEVEL ALONG ACCESSIBLE ROUTE



**HC2 A-7.1** N.T.S. SWITCHES, OUTLETS, THERMOSTATS



**HC1 A-7.1** N.T.S. TURNING SPACE CLEARANCES



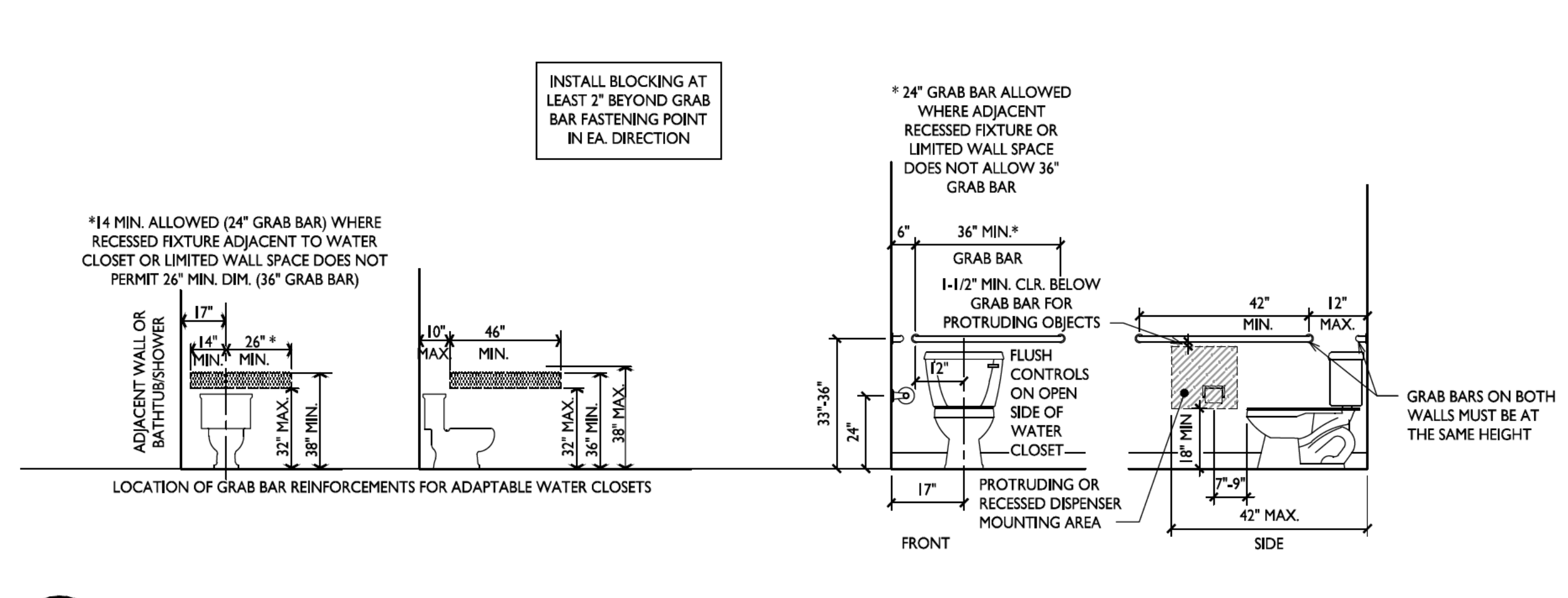
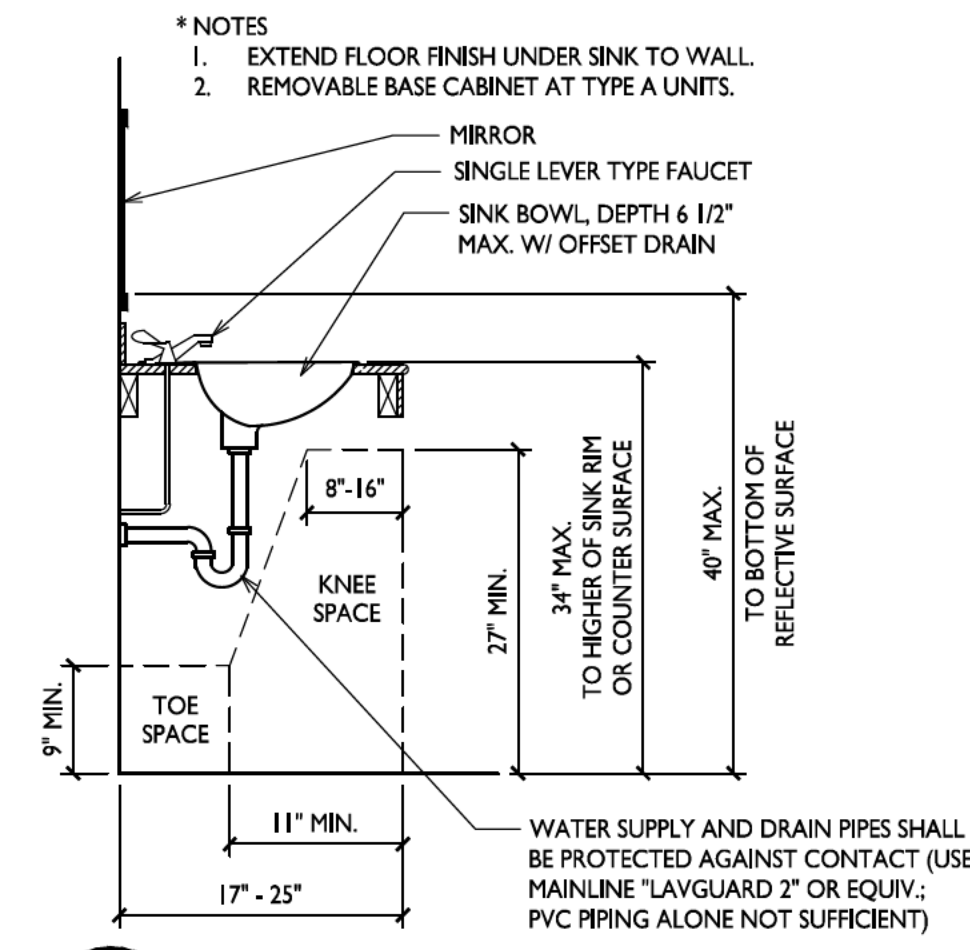
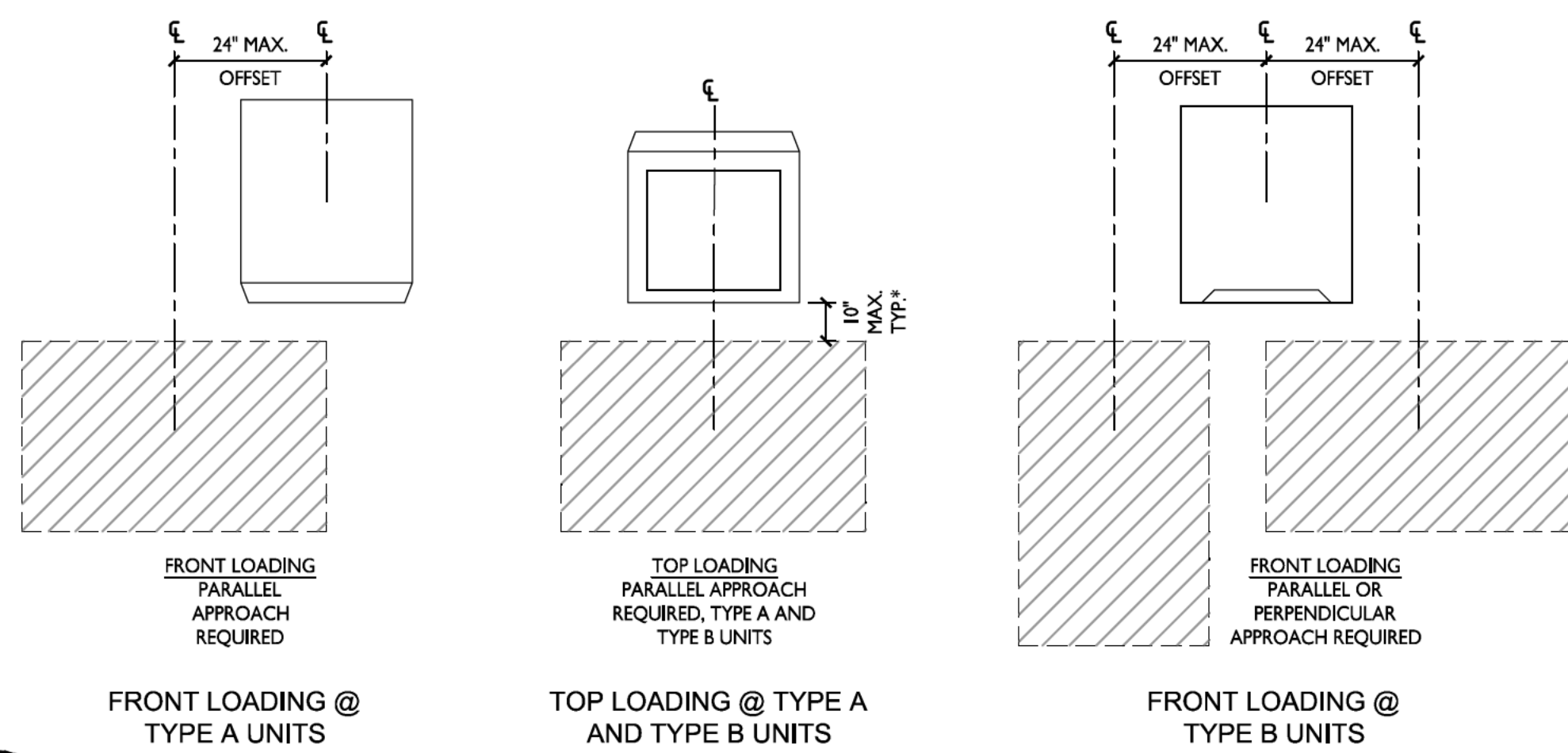
ISSUED  
Issued For Plan Review - September 11, 2015

PROJECT TITLE  
**Whistling Ridge Building #3**

SHEET TITLE  
**Accessibility Requirements**

SHEET NUMBER

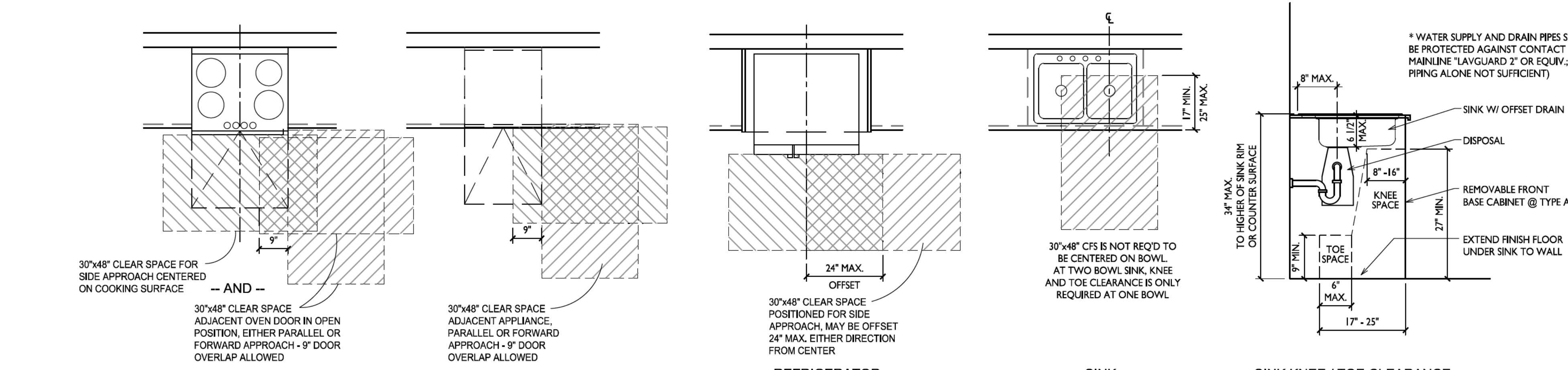
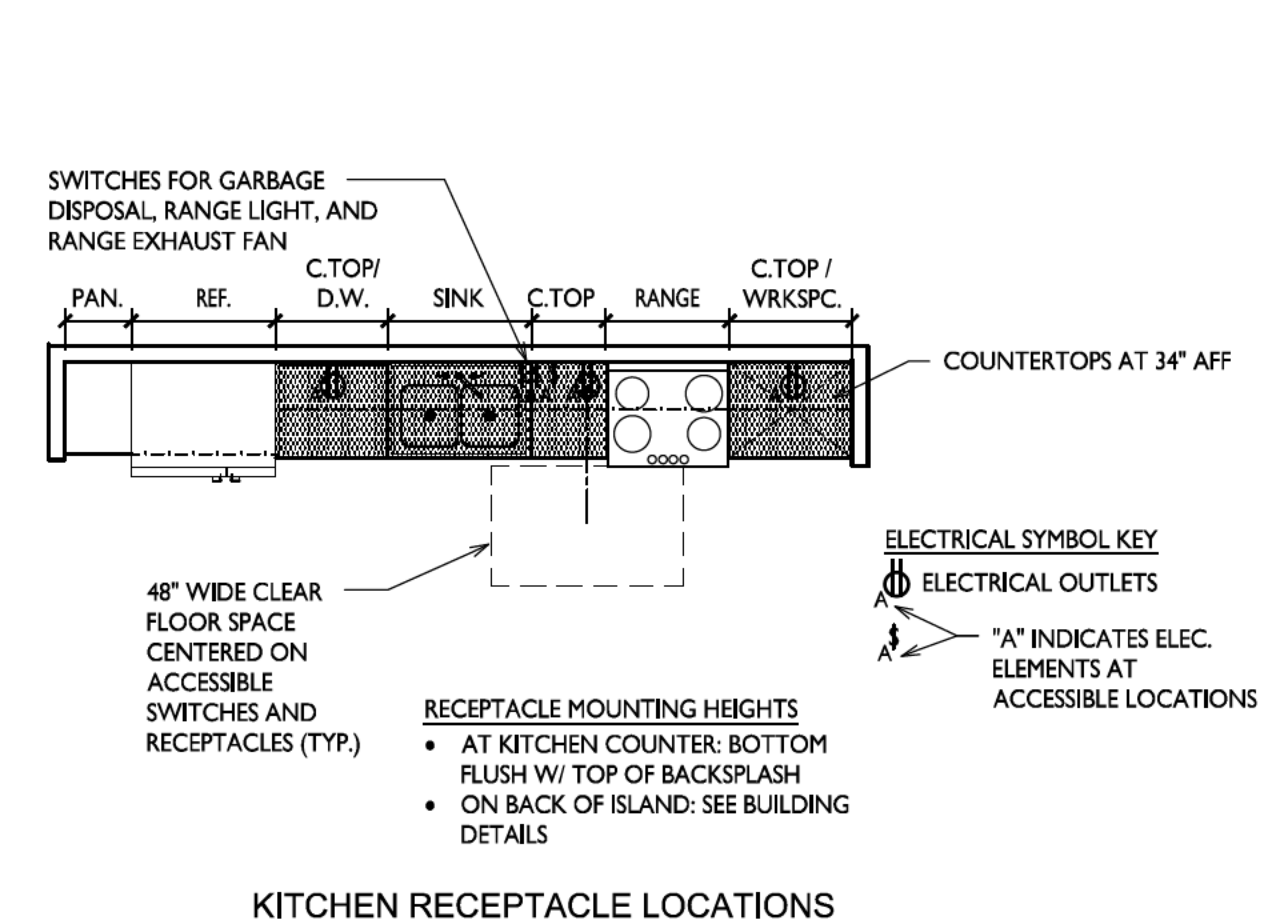
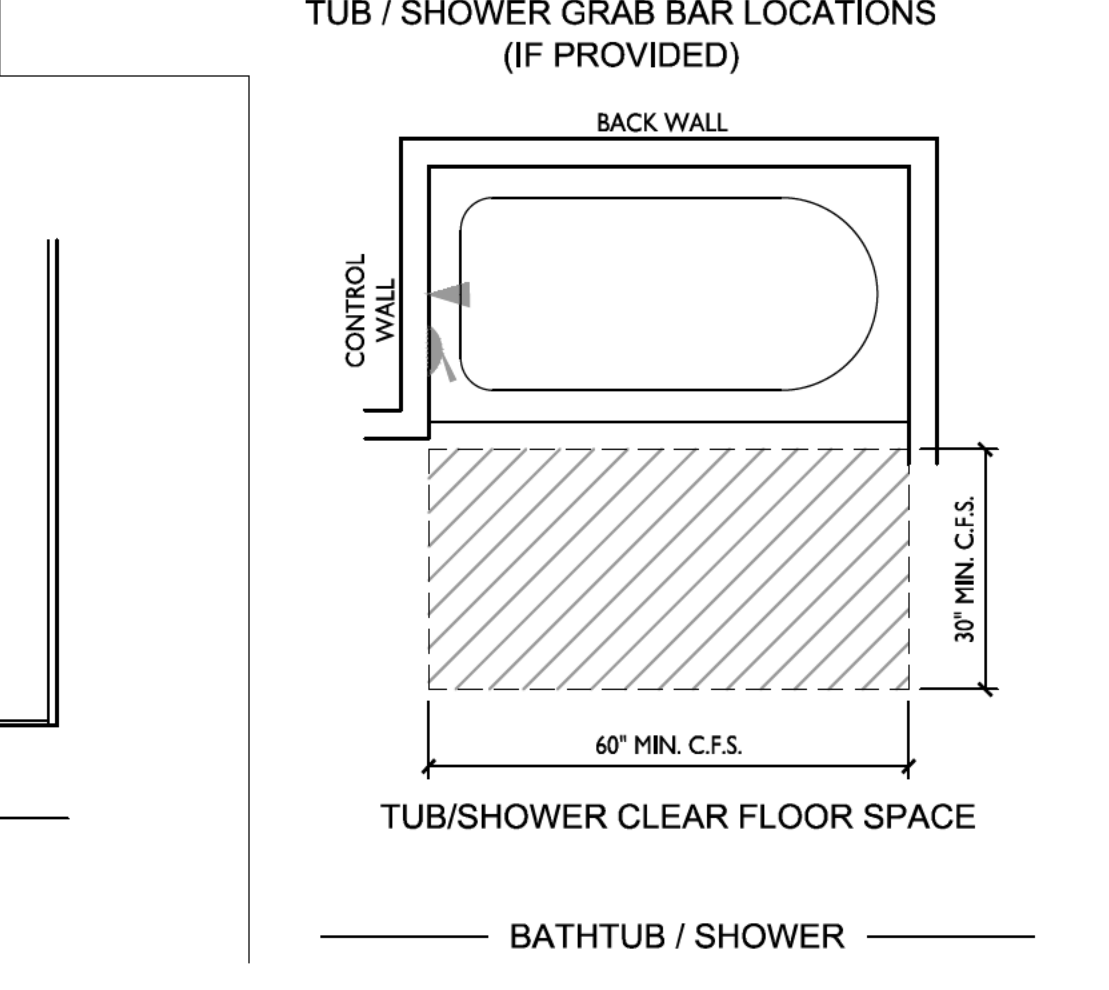
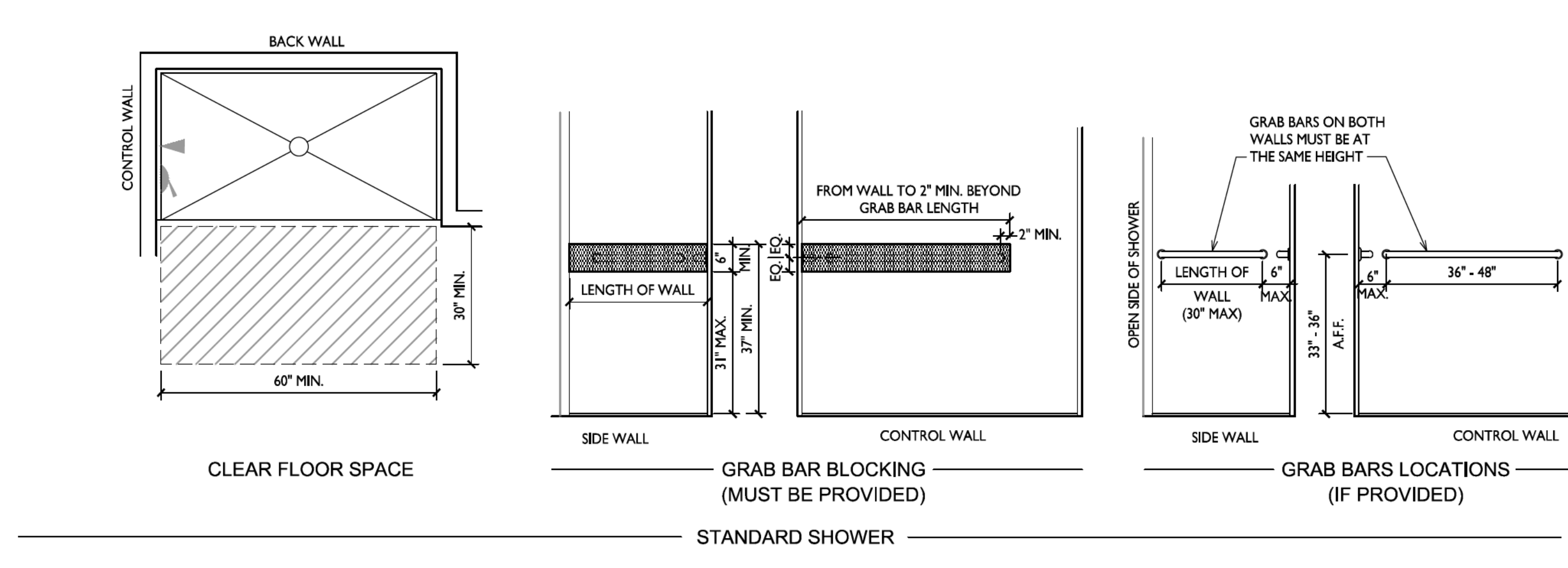
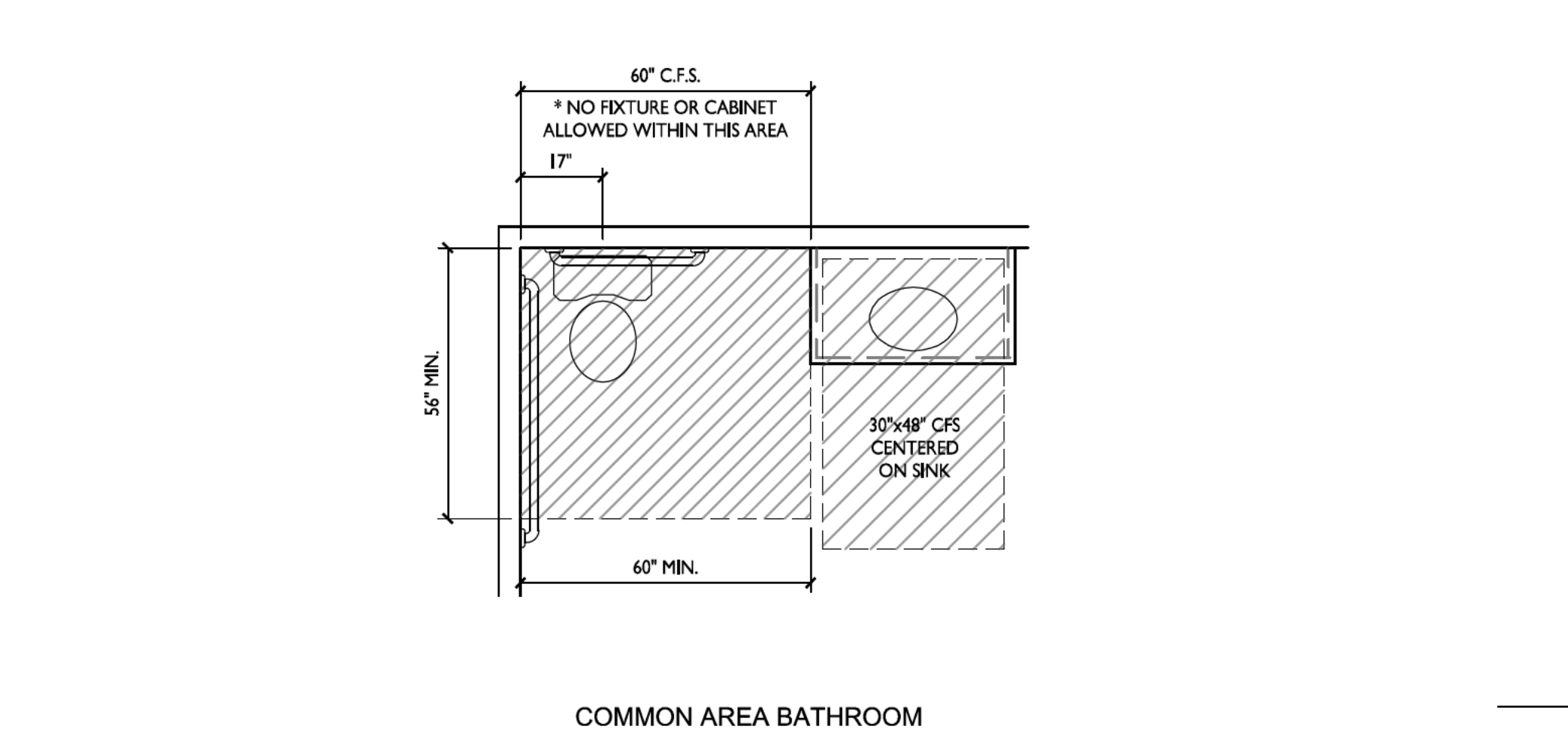
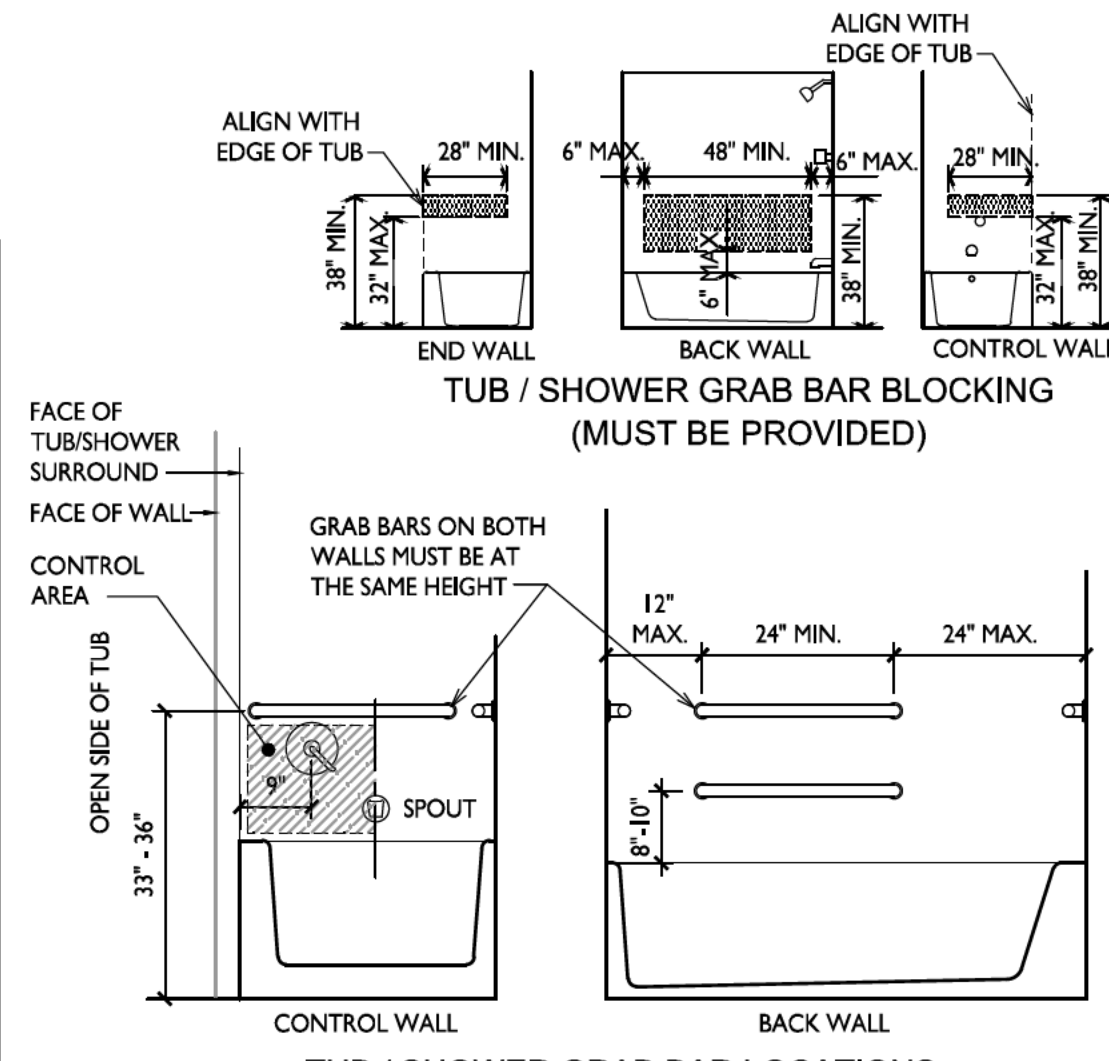
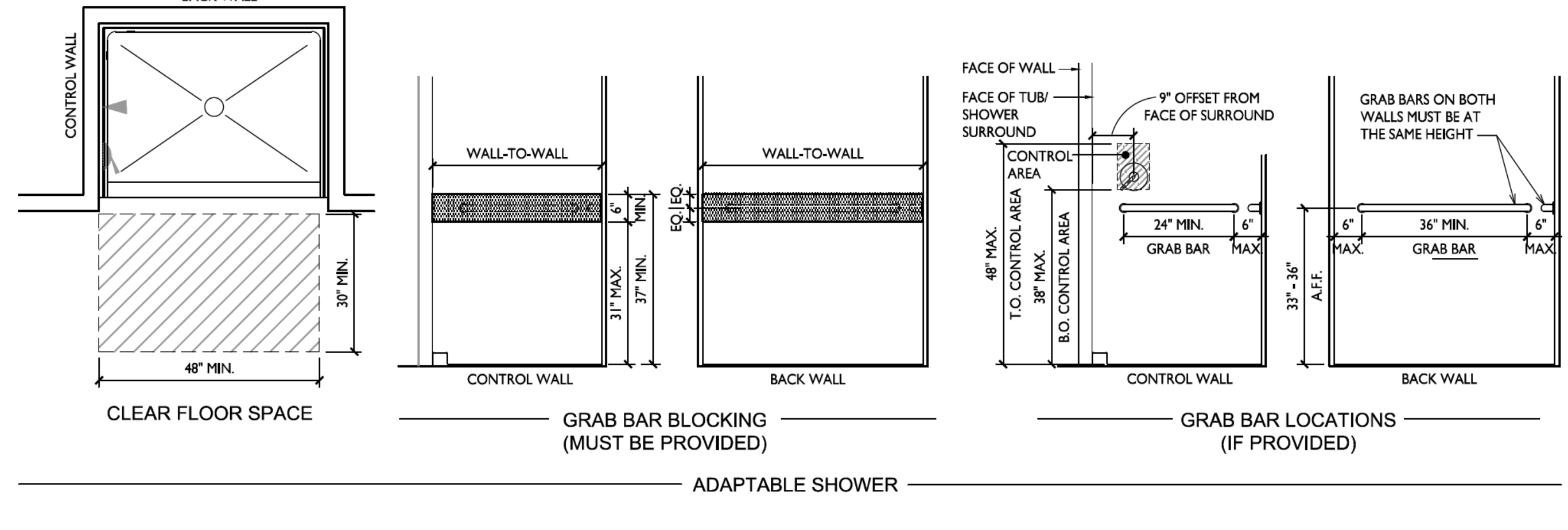
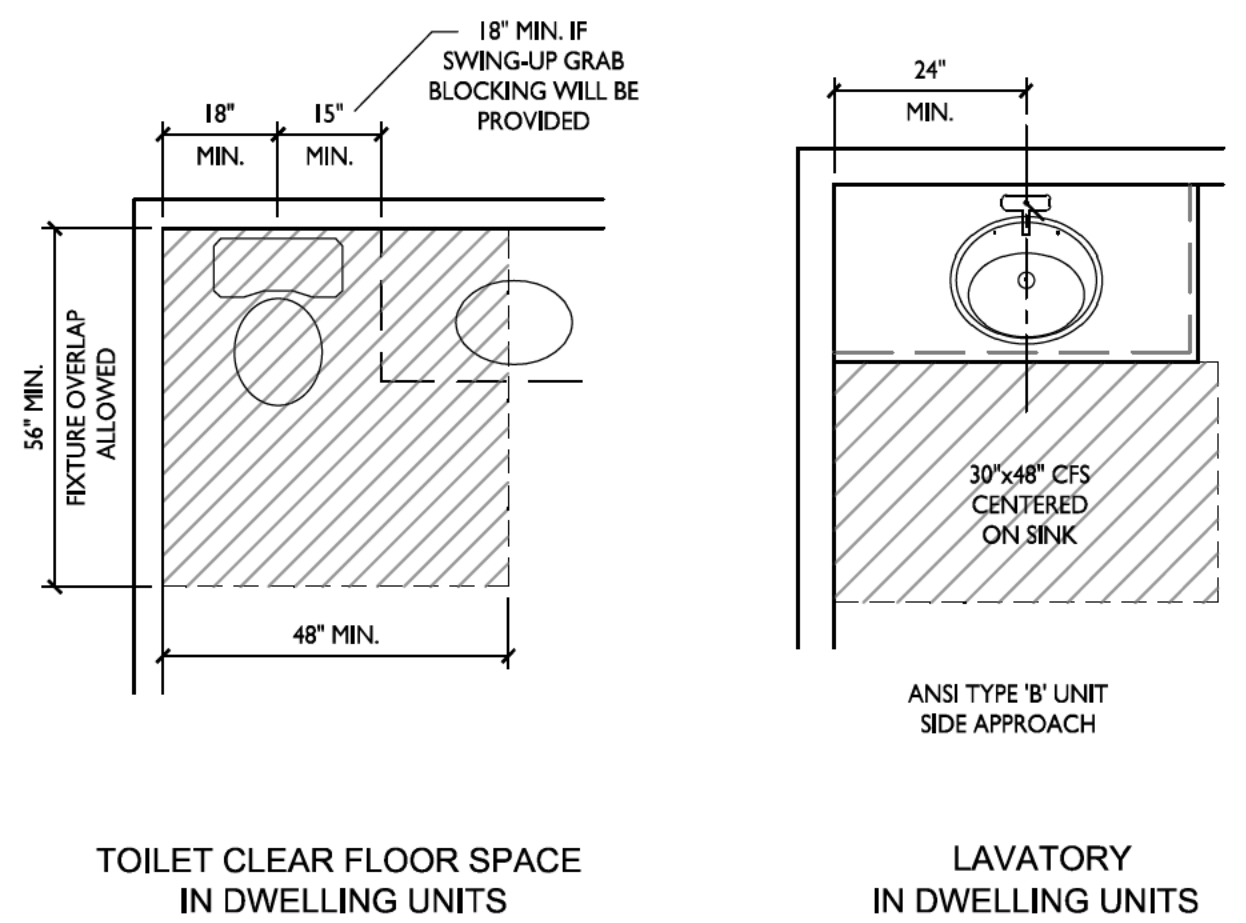
**A-7.1**  
PROJECT NO. **2002**  
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**HC8 A-7.2 LAUNDRY EQUIPMENT CLEARANCES**  
N.T.S.

**HC7 A-7.2 VANITY KNEE / TOE CLEARANCE**  
N.T.S.

**HC6 A-7.2 TOILET GRAB BARS AND BLOCKING**  
N.T.S.



**HC10 A-7.2 BATHROOM FIXTURE CLEARANCES**  
N.T.S.

**HC9 A-7.2 BATHTUB / SHOWER GRAB BAR BLOCKING AND CLEAR FLOOR SPACE**  
N.T.S.

**HC11 A-7.2 KITCHEN CLEARANCES**  
N.T.S.

PROJECT TITLE  
**Whistling Ridge Building #3**

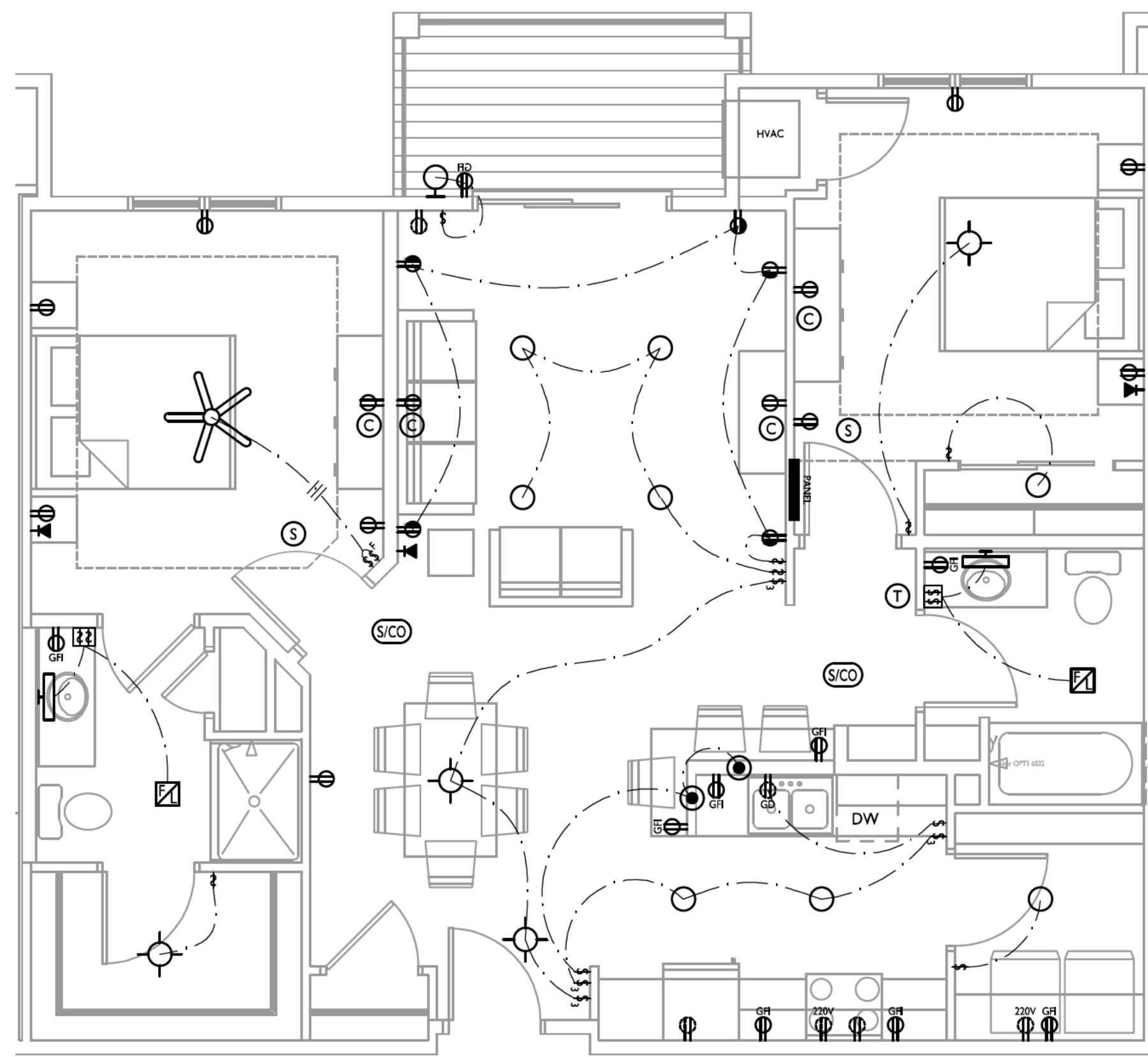
108 Whistle Street  
Marshall, WI  
SHEET TITLE  
**Accessibility Details**

SHEET NUMBER

**A-7.2**

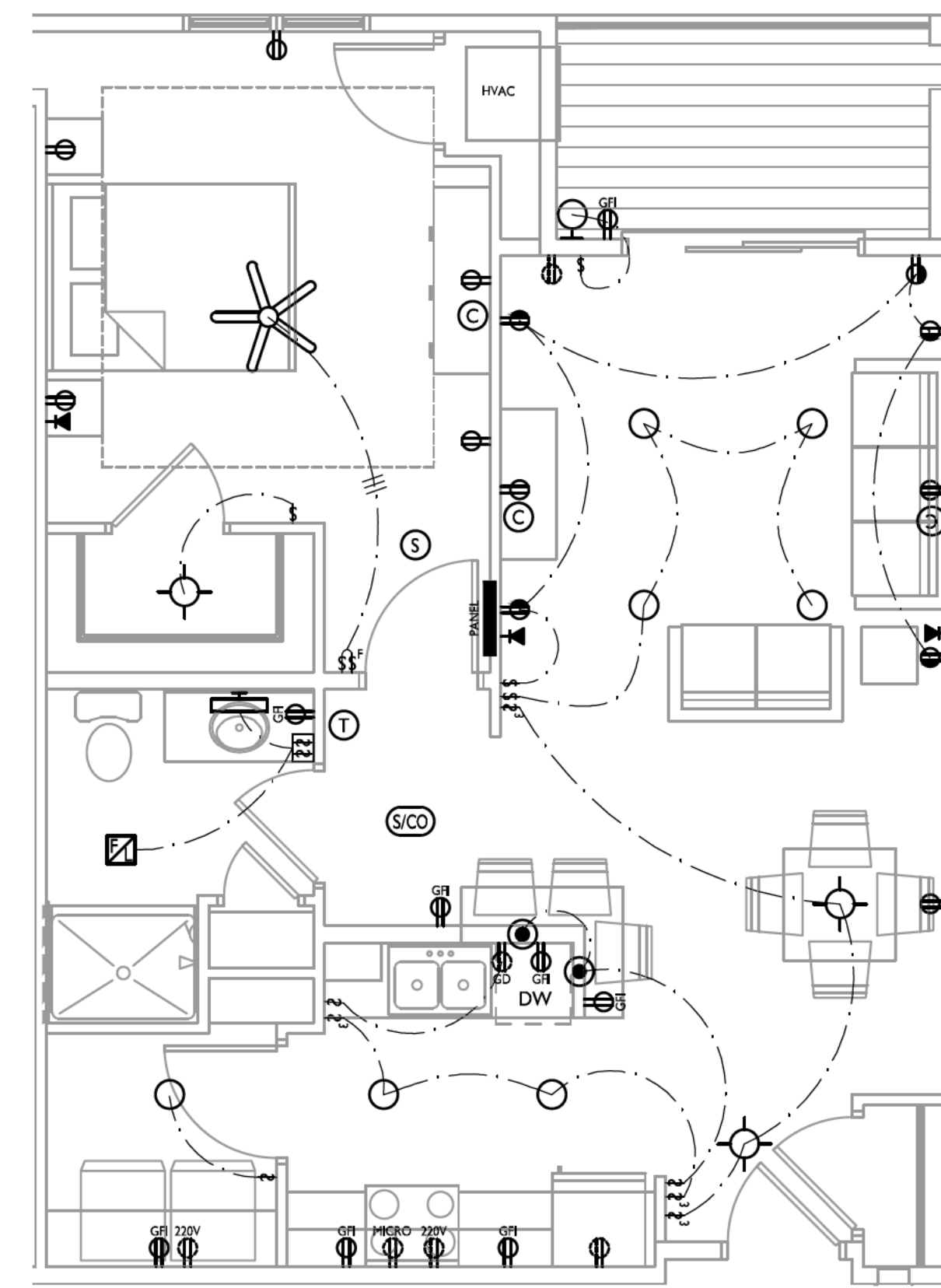
PROJECT NO. **2002**

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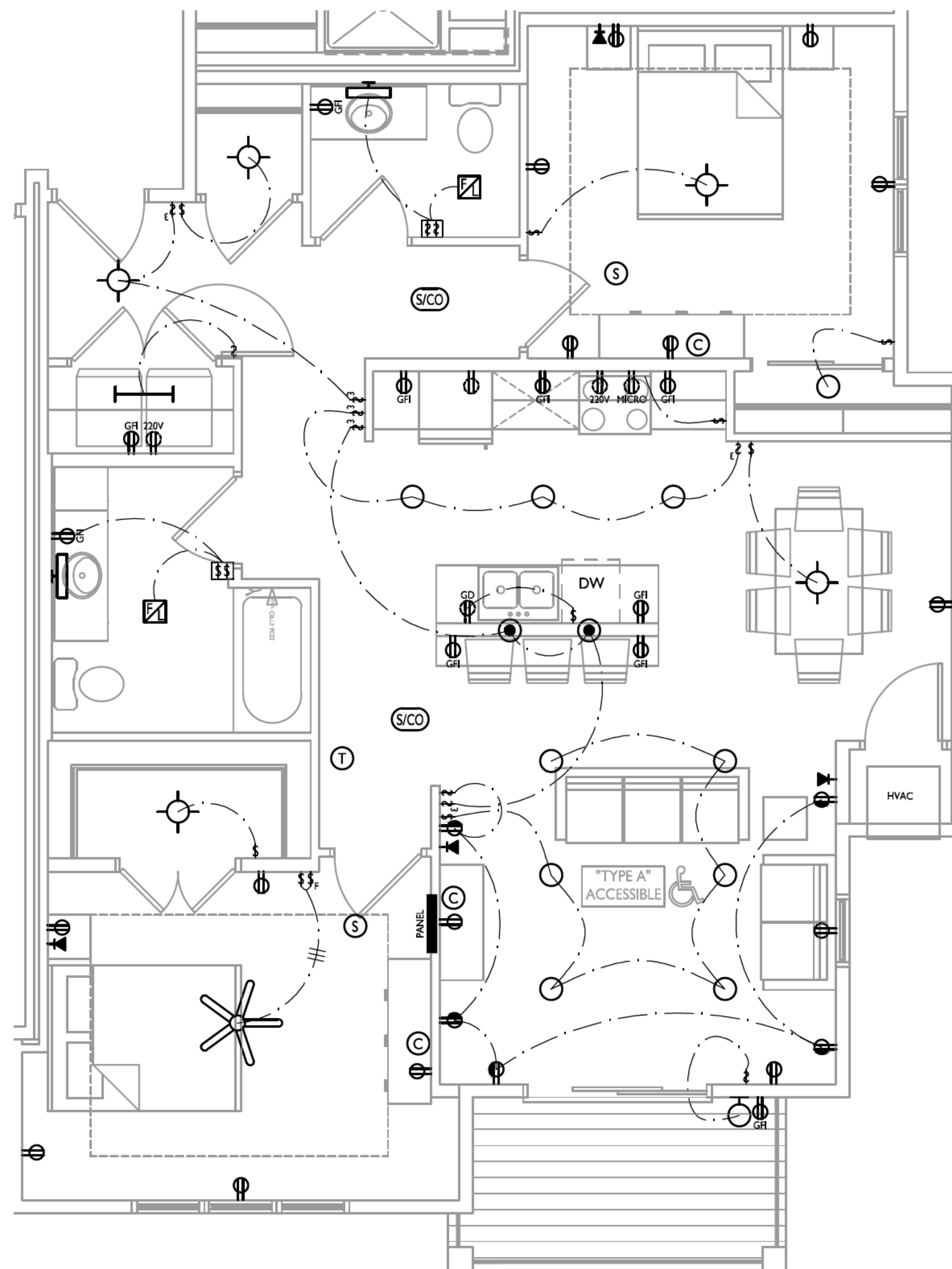
**2**  
A-8.1  
1/4"=1'-0"

**TYPICAL STYLE E  
DEVICE PLACEMENT PLAN**



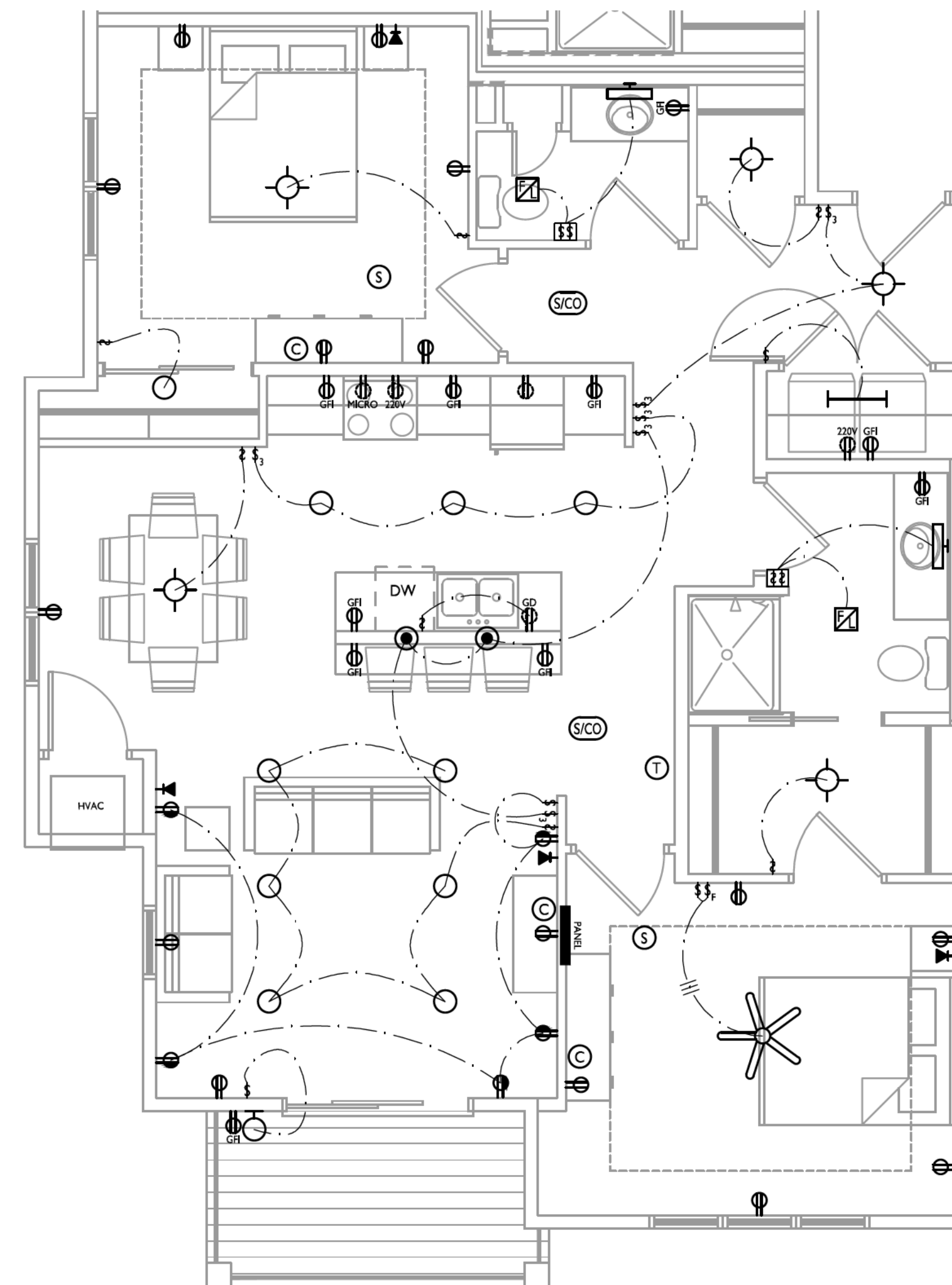
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**TYPICAL STYLE A  
DEVICE PLACEMENT PLAN**



**5**  
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1/4"=1'-0"

**TYPICAL TYPE A UNIT  
DEVICE PLACEMENT PLAN**



**4**  
A-8.1  
1/4"=1'-0"

**TYPICAL STYLE C  
DEVICE PLACEMENT PLAN**

**GENERAL ELECTRICAL NOTES:**

- ARCHITECTURAL DEVICE PLACEMENT / REFLECTED CEILING PLANS ARE GUIDELINES ONLY. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR SYSTEM DESIGN & COMPLIANCE WITH ALL APPLICABLE CODES.
- VERIFY POWER REQUIREMENTS FOR ALL EQUIPMENT AND APPLIANCES
- PROVIDE BOX AND SPEED CONTROL SWITCH FOR CEILING FAN AT ALL BEDROOMS AND LOCATIONS SHOWN ON PLAN
- DIMENSIONS ARE TO FACE OF FRAMING AND CENTERLINE OF LIGHT FIXTURES
- PROVIDE OUTLET ON DEDICATED CIRCUIT IN UPPER CABINET FOR MICROWAVE-HOOD. TYPICAL OF ALL UNITS. ADDITIONAL SWITCHED OUTLET TO BE PROVIDED FOR STANDARD RANGE HOOD AT TYPE "A" UNITS FOR FUTURE INSTALLATION OF HOOD AT TENANT'S REQUEST.
- ELECTRICAL CONTRACTOR TO MAKE ALL SUBMITTALS TO STATE FOR ENERGY CODE AND LIFE SAFETY LIGHTING PER COMM 43.0500. COPIES OF ALL APPROVAL LETTERS TO BE FORWARDED TO THE ARCHITECT.
- RECESSED LIGHTING IN FIRE RATED FLOOR/CEILING ASSEMBLIES TO MAINTAIN RATING W/ RATED FIXTURE, RATED "SURROUND", DRYWALL ENCLOSURE, ETC.
- ALL UNITS TO HAVE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES PER ICCA 1117.1.
- VERIFY SECURITY CAMERA LOCATIONS WITH OWNER PRIOR TO INSTALLATION
- BATHROOM SWITCHING: 1st SWITCH TO TURN ON VANITY LIGHT AND BATH FAN LIGHT. FAN SWITCHED OFF WITH DELAY TIMER.
- LARGE SUTLE MVE-45E MEDIA CENTER TO BE INSTALLED IN EACH UNIT WITH (1) CAT5E AND (2) COAXIAL CABLE HOMERUNS FROM BASEMENT. PROVIDE POWER TO MEDIA CENTER.
- ELECTRICIAN TO INSTALL FIBER OPTIC CABLE PROVIDED BY AT&T TO EACH UNIT FROM DMAC. LABOR COST FOR INSTALLING FIBER TO BE CHARGED DIRECTLY TO AT&T.
- CARBON MONOXIDE ALARMS TO BE INSTALLED IN BASEMENT, CORRIDORS, AND DWELLING UNITS PER SPS 362.1200. ALARMS TO BE POWERED BY BUILDING POWER WITH BATTERY BACKUP AND SHALL BE INTERCONNECTED WITHIN DWELLING UNITS. ALARMS TO BE LOCATED WITHIN 15'-0" OF DWELLING UNIT SLEEPING AREAS.
- SMOKE ALARMS TO BE POWERED BY BUILDING POWER WITH BATTERY BACKUP AND SHALL BE INTERCONNECTED WITHIN DWELLING UNITS. ALARMS TO BE LOCATED IN EACH BEDROOM, OUTSIDE EACH SLEEPING AREA, AND ON EACH STORY WITHIN THE DWELLING UNIT.

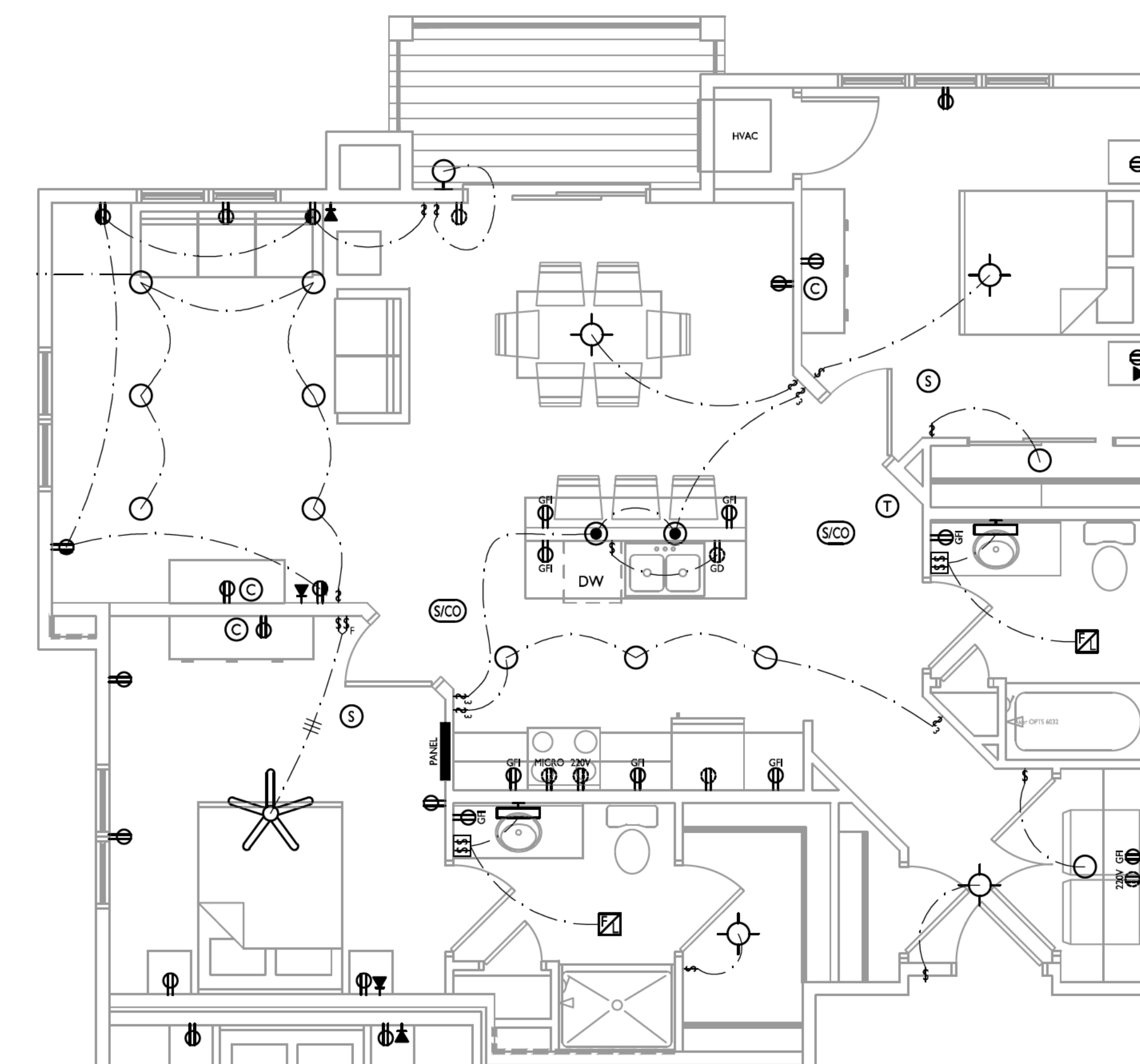
**TYPICAL MOUNTING HEIGHTS (A.F.F.)**

WALL SWITCHES	42" TO CENTERLINE
THERMOSTATS	44" TO TOP MAX
HUMIDISTATS	84" TO CENTER
INTERCOM PANELS IN UNITS	48" TO TOP
ELECTRICAL OUTLETS	
TYPICAL	18" TO CENTER
@ BATH VANITY	42" TO CENTER
@ KITCHEN COUNTER	FLUSH W/ TOP OF SPLASH
KIT. DISPOSAL / FAN SWITCHES	MOUNTED IN BACKSPLASH
@ KITCHEN COUNTER	
TELEPHONE JACKS	
TYPICAL	18" TO CENTER
@ KITCHEN COUNTER	42" TO CENTER

**ELECTRICAL SYMBOL LEGEND**

\* ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR SYSTEM DESIGN & COMPLIANCE WITH ALL APPLICABLE CODES.

	ELECTRICAL PANEL		WALL-MOUNTED LIGHT
	DUPLEX RECEPTACLE		RECESSED LIGHT
	HALF-SWITCHED RECEPTACLE		CEILING-MOUNTED LIGHT
	GFI RECEPTACLE		PENDANT LIGHT
	WEATHERPROOF RECEPTACLE		VANITY LIGHT
	GARBAGE DISPOSAL RECEPTACLE		UNDERCABINET FLUORESCENT LIGHT
	220V RECEPTACLE		CEILING FAN
	CEILING RECEPTACLE		2x4 FLUORESCENT LIGHT
	CABLE JACK		SURFACE-MOUNT FLUORESCENT STRIP LIGHT
	THERMOSTAT		EXIT SIGNS
	PHONE JACK		EXIT SIGN W/ EMERGENCY LIGHTING
	EXHAUST FAN / LIGHT		EMERGENCY LIGHTING
	SMOKE DETECTOR		
	CARBON MONOXIDE DETECTOR		
	SMOKE & CARBON MONOXIDE DETECTOR		
	SWITCH		
	3-WAY SWITCH		
	CEILING FAN CONTROL SWITCH		
	BATHROOM SWITCHING: 1ST SWITCH TO OPERATE VANITY LIGHT & BATH FAN/LIGHT. FAN SWITCHED OFF W/ DELAY TIMER. 2ND SWITCH TO OPERATE NIGHT LIGHT ONLY.		



**3**  
A-8.1  
1/4"=1'-0"

**TYPICAL STYLE D  
DEVICE PLACEMENT PLAN**



## Site Plan Review REPORT TO THE PLAN COMMISSION

**DATE:** March 24, 2026  
**PROPERTY ADDRESS:** 524 Whitewater Ave  
**PARCEL NUMBER:** 226-0514-0332-020  
**OWNER:** MBE CPA  
**APPLICANT:** Stratford Sign Company

**FILE NUMBER:** SPR-2026-02  
**EXISTING ZONING:** LI-Light Industrial  
**PROPOSED ZONING:** No Change Proposed  
**EXISTING LAND USE:** Office Building  
**REQUESTED USES:** No Change

### BACKGROUND

Section 15.09.27 of the City of Fort Atkinson Zoning Ordinance outlines the requirements for the Sign Permit application. This requires review of the proposed sign’s conformance to the code, materials, legibility and visual clarity, compatibility with building characteristics, land uses, and site conditions, and potential conflicts with vehicular or pedestrian circulation.

### REQUEST OVERVIEW

MBE CPA’s is proposing to remove the building sign at the location at 1507 Madison Ave. and move it to the new location at 524 Whitewater Ave. to replace the current building sign.

**The Sign Code requirements for Wall Signs are documented below.**

Requirement	Proposed
1 sign per exterior wall, plus 1 per customer entry	1 sign per wall, plus 1 per customer entry
Maximum size = Each business is allowed a minimum of 40 sq ft of wall sign.	<ul style="list-style-type: none"> <li>Eastern Facade = Proposed wall signs = 39 sf. Meets requirements.</li> </ul>
Shall not extent over any roof or parapet	Located on the façade, no roof or parapet overhang
Shall be made of durable, all-weather materials	Aluminum
Shall be ambient, backlit, or gooseneck lighting	Backlit
Shall be a minimum of 8 ft above the sidewalk	Located above doors and windows on the facade and not above a walkway
Shall project a maximum of 12 in. from the front façade face of the building	Proposed 5 in.
Sign must be designed of materials harmonious with the building and site	Metal sign with harmonious colors
Internal Illumination must have opaque cabinet fields with translucent message	Met

No public notice is required for a Sign review and action.

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## DISCUSSION

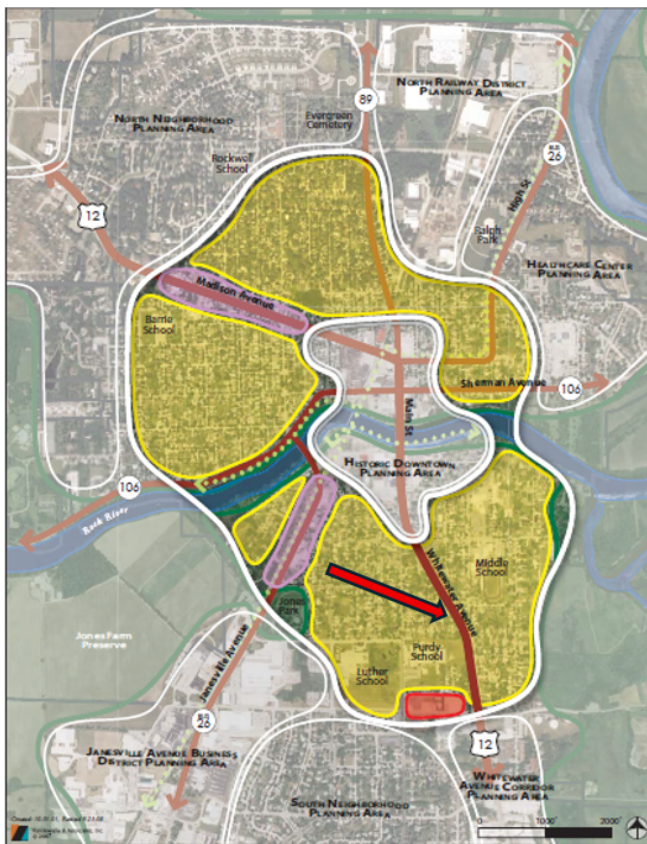
The subject parcel lies within the Central Neighborhoods Planning Area and is identified as Mixed Use within the City's Comprehensive Plan. The opportunities included in this planning area include:

- Urban living experience
- Single family neighborhood character
- Historic preservation balanced with modernization
- Bed & Breakfast Opportunities
- Schools, parks & downtown as gathering places
- Neighborhood retail revitalization, along Janesville, Madison & Whitewater Avenues

## CENTRAL NEIGHBORHOODS PLANNING AREA

FIGURE: 2.16

CITY OF FORT ATKINSON  
FUTURES OPEN HOUSE



The subject property is also shown as Neighborhood Commercial on the Future Land Use Map. The Neighborhood Commercial future land use category is intended for small-scale, neighborhood supporting retail, service, and office uses. Neighborhood Commercial uses are

typically smaller in scale and have fewer traffic and other impacts than Community Commercial land uses. City Staff believe the proposed sign is in concert with the City's Comprehensive Plan.

---

**RECOMMENDATION**

City staff recommends approval of the Site Plan Review for signage as submitted.

---

**ATTACHMENTS**

1. MBA Packet\_Redacted
2. MBE CPA - Fort Atkinson Signage Size Adjustment



City of Fort Atkinson  
City Manager's Office  
101 N. Main Street  
Fort Atkinson, WI 53538

**CITY OF FORT ATKINSON**  
**COST RECOVERY AGREEMENT**

The City of Fort Atkinson may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, recreation specialists, and/or other experts) to assist in the City's review of a development proposal that may be scheduled for review and action by the Plan Commission and/or City Council. The submittal of a development proposal or land use application by an Applicant shall be construed as an agreement to pay for such professional services applicable to the proposal or application. The City may apply reasonable charges for these services to the Applicant through invoices. The City may delay acceptance of the proposal or application as complete, or may delay final approval of the proposal, until the Applicant pays such fees. In the event invoices become delinquent, finance charges will accrue at 1% per month, 30 days after the due date. Review fees invoiced to the Applicant, which are not paid in a timely manner, may be assigned by the City as a special assessment to the subject property. The Applicant hereby waives any notice and hearing requirements provided in Wis. Stats. § 66.0701 or any additions or amendments to this section. The City will provide notice to the applicant of the need to hire a professional consultant.

The Applicant is required to provide the City with an executed copy of this Cost Recovery Agreement as part of the land use application process. Applications are not considered complete and will not be considered by the Plan Commission without this executed Agreement.

\*Application fees are non-refundable. Fees cover the costs associated with mailing public notices, postage, copies and staff review. Applicants must agree to pay all additional expenses the City may incur on their behalf for contracted services (attorney, planner, engineer and required studies.

Applicant Name: Stratford Sign Company, LLC

Project Name: MBE CPA

Project Address: 524 Whitewater Avenue

Parcel Number: 226-0514-0332-020

Dated this 23 day of February 2026.

Agreement signed and entered into by:

The City of Fort Atkinson

\_\_\_\_\_  
City Manager

Property Owner Information:

Applicant Information (if different):

Owner Name: MBE CPA

Applicant Name: Shelly Handrick

Owner Signature:

Applicant Signature:

Address: 1507 Madison Avenue, Fort Atkinson, WI 53538

Address: P.O. Box 134, Stratford, WI 54484

Phone Number: [REDACTED]

Phone Number: [REDACTED]

[REDACTED] d [REDACTED]

[REDACTED] dc [REDACTED]



## City of Fort Atkinson Procedural Checklist for Sign Permits Requirements per Section 15.09.27

This form is designed to be used by the Applicant as a guide to submitting a complete application for a sign permit and by the City to process the application.

Name, company, and client (if applicable): Stratford Sign Company, LLC  
P.O. Box 134, Stratford, WI 54484

Phone number: [REDACTED] Email: [REDACTED]  
Property address of proposed sign: 524 Whitewater Avenue, Fort Atkinson, WI 53548

### I Application Packet Requirements

The Applicant shall submit an electronic copy or paper copies of the application as required by the City.

- The name, address, phone number, and email address of the applicant.
- The name of the business or land use the proposed sign will serve.
- The name, address, phone number, email address, and signature of the property owners.
- The name, address, phone number, and email address of the sign contractor.
- The property's zoning designation and use of the building for which the sign will provide information.
- The property's current land use or uses for entire subject property, including all indoor and outdoor areas.
- A signage plan, drawn to a recognizable scale, for the property shall be submitted showing the following:
  - Location, type, height, width, and area of the proposed sign.
  - Location, type, height, width, and area of all existing signs on the property and indication of whether existing sign(s) will remain or be removed/replaced.
  - All property lines and buildings on the property and within 50 feet of the proposed sign.
  - All customer entrances, parking areas, driveways, and public roads.
  - Method of attachment, structural support, method of illumination, and sign materials.
  - Approximate value of the sign to be installed, including cost of installation.
- Payment of the sign permit fee.
- Any other information that may reasonably be requested by the Zoning Administrator for the purpose of application evaluation.
- A written statement that all temporary signs will be removed per the limits.
- Any existing or proposed sign on property abutting a State Highway, United States Highway, or Interstate Highway shall also require approval from the Wisconsin Department of Transportation or the Federal Highway Administration.

## II Applicability

- 1) No Freestanding Sign listed under Section 15.09.05(1)(a), On-Building Sign listed under Section 15.09.05(1)(b), Pedestrian Sign listed under Section 15.09.05(1)(c), Bulletin Board or Order Board Sign under Section 15.09.05(1)(d), or Optional Miscellaneous Sign under Section 15.09.05(3)(b) shall be erected, installed, or constructed without approval from the City of Fort Atkinson Plan Commission.
- 2) No Menu Board or Sandwich Board Signs listed under Section 15.09.05(1)(d) or Building Management Identification Sign, On-Site Warning Sign, or On-Site Directional Sign listed under Section 15.09.05(3)(a), shall be erected, installed, constructed, or maintained without the granting of a permit from the Zoning Administrator in accordance with the provisions of this Section.
- 3) For signs requiring a permit in Subsection (a), above, this Section shall apply and be construed to require a permit for a change of copy on any sign or for any conversions or changes in the sign structure.
- 4) This Section shall not apply to repainting or re-facing with the same sign copy, cleaning, repair, or other normal maintenance of the sign or sign structure.
- 5) No new permit is required for signs which are in place as of the effective date this Chapter, and such signs may remain as legal nonconforming signs. Any alteration or relocation of such signs shall conform to the requirements of this Chapter. Refer to Section 15.09.35 for rules pertaining to nonconforming signs.
- 6) Any sign permit granted hereunder shall not be assigned or transferred to any other sign, including a modified sign face or modified sign structure.
- 7) The owner or tenant may request all such signs at one site be included under one permit.

## III Criteria Used to Evaluate the Sign Permit Application

In deciding whether or not to grant a sign permit, the Zoning Administrator shall determine whether the proposed sign is in compliance with the provisions of Article IX of the City of Fort Atkinson Zoning Ordinance. In such review, the Zoning Administrator may also consider the following factors:

- 1) Conformance to the zoning and sign code.
- 2) Minimization of conflict with vehicular or pedestrian circulation.
- 3) Compatibility with the building characteristics, adjacent uses, and adjacent signs.
- 4) Compatibility with the specific physical site conditions which warrant approval of the proposed sign.
- 5) Materials and maintenance aspects.
- 6) Legibility and visual clarity.

## IV Process Checklist






















- |   |               |
|---|---------------|
| <input type="checkbox"/> Application fee of \$75 received by City Treasurer                 | Date: SW ____ |
| <input type="checkbox"/> Reimbursement of professional consultant costs agreement executed. | Date: SW 2/26 |
| <input type="checkbox"/> Receipt of complete application packet by Zoning Administrator     | Date: SW 2/26 |
| <input type="checkbox"/> Review and action by Zoning Administrator                          | Date: _____   |

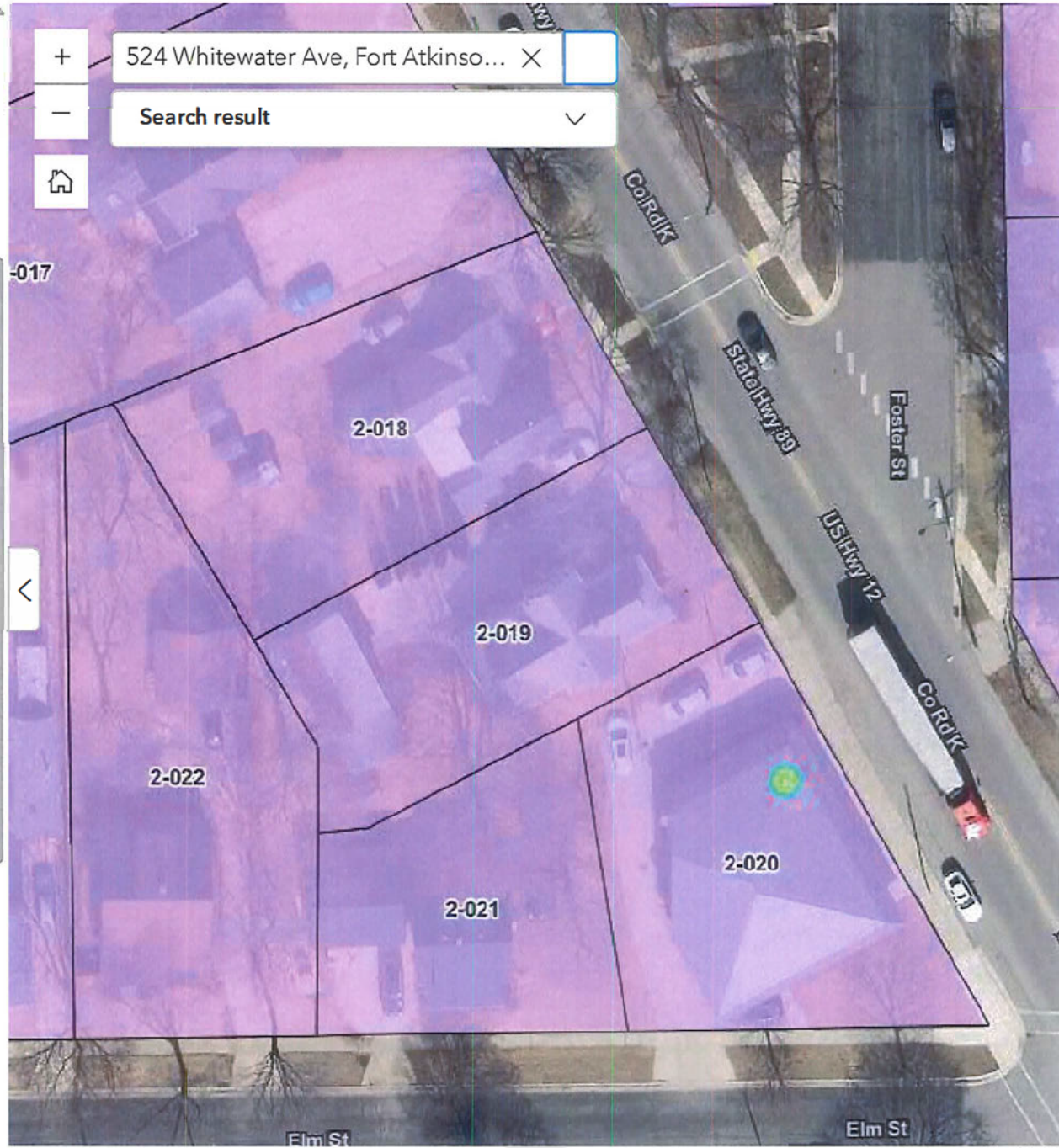


# City of Fort Atkinson Interactive Zoning Map



## City of Fort Atkinson Base Zoning

-  Conservancy
-  SR-2 - Single Family Residential - 15,000sf
-  SR-3 - Single Family Residential - 10,000sf
-  SR-5 - Single Family Residential - 8,000sf
-  SR-7 - Single Family Residential - 6,000sf
-  TF-10 - Two Flat Residential - 7,200sf
-  DR-8 - Duplex Residential - 10,000sf
-  MRL-8 - Multi-Family Residential
-  MRM-12 - Multi-Family Residential
-  MRH-30 - Multi-Family Residential
-  MH-7 - Mobile Home Residential-7
-  NMU - Neighborhood Mixed Use
-  SMU - Suburban Mixed Use
-  UMU - Urban Mixed Use
-  DPMU - Downtown Periphery Mixed Use
-  DHMU - Downtown Historic Mixed Use
-  I - Institutional
-  LI - Light Industrial
-  MI - Medium Industrial
-  HI - Heavy Industrial
-  BP - Business Park



Wall Sign / Channel Letters  
 Single Sided  
 Internally Lit  
**QTY: 1**

Original Production File.

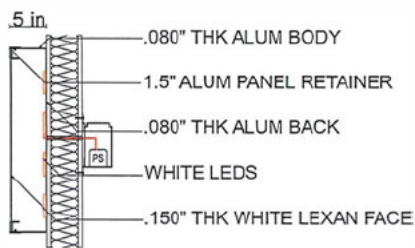
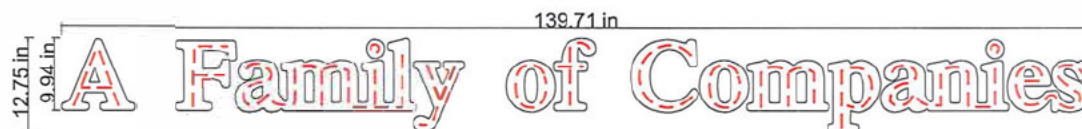
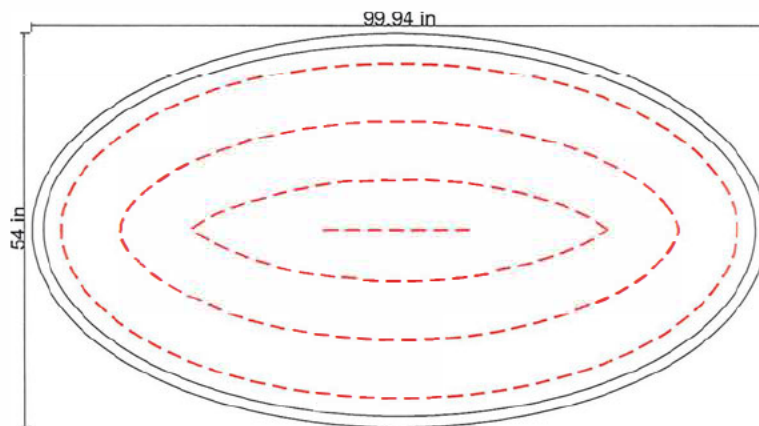


212805 Connor Ave. | PO Box 134 | Stratford, WI 54484  
 Tel 715.687.3250 | Free 888.264.4459  
 Fax 715.687.4657 | www.stratfordsign.com

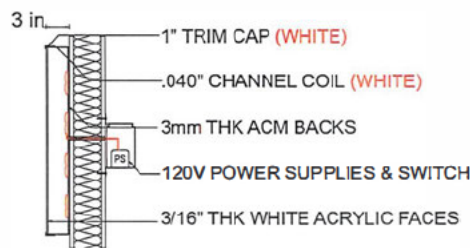
## SHOP DRAWING

SHEET 1 of 1

# A Family of Companies



LOGO SIDE VIEW NTS



LETTER SIDE VIEW NTS

**Client:** MBE CPAs  
**Project:** Fort Atkinson Signage  
**Contact:** Arthur Kumiega  
**Phone:** 920-563-5563  
**Email:** akumiega@remsmbe.com  
**Project Mgr:** Justin Rothamer  
**Drawn By:** Derek Austin

**PROOF DATES**

**P1:** 3-28-23    **P2:** 00.00.00  
**P3:** 00.00.00    **P4:** 00.00.00  
**P5:** 00.00.00    **P6:** 00.00.00

**File Name:** M: MBE CPA - Fort Atkinson

Signage

Notes:

- APPROVED
- Approved w/ noted revisions
- Revise and submit new proof

Signature \_\_\_\_\_

Date \_\_\_\_\_

These drawings will be released to production once signed. SSC is not responsible for errors. Please check for misspellings, correct phone numbers & addresses, details regarding renderings, shop drawings, quantities, color, etc. Colors shown are for representation only. PMS colors must be requested at time of order to ensure accuracy and may not be guaranteed. Additional fee will apply if PMS sample is required. Any detail or dimension change may delay completion and may incur additional fee. All artwork is property of SSC and cannot be reproduced without permission. Fee may apply if reproduced by others.

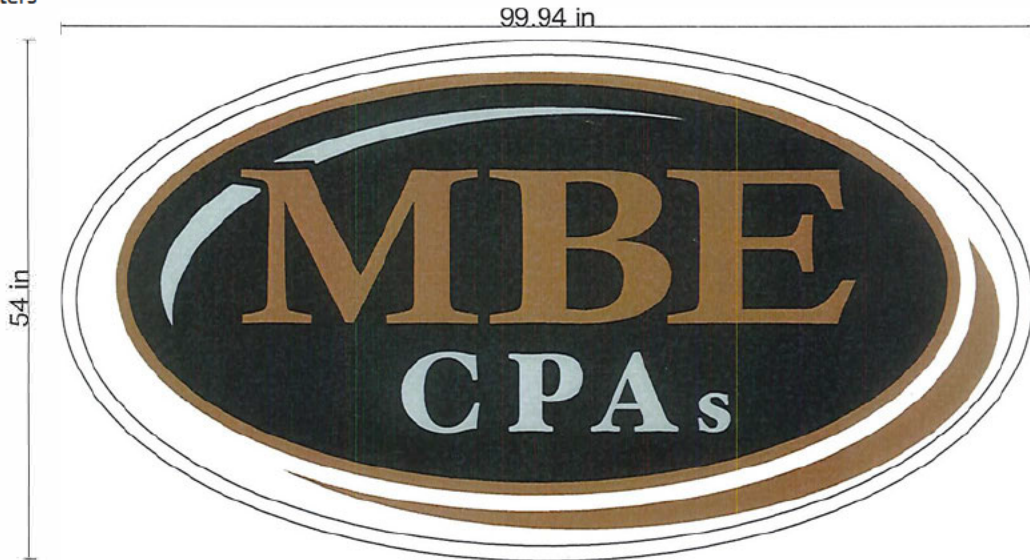
(A) Alum Sign Cabinet Painted White



(B) 3M Printed Translucent Vinyl Printed to Match PMS 874C / 442C / Black

(C) 3M Die-Cut Opaque Vinyl Black 7125-12

Wall Sign / Channel Letters  
 Single Sided  
 Internally Lit  
**QTY: 1**



12.75 in  
 9.94 in  
 139.71 in  
**A Family of Companies**



212805 Connor Ave. | PO Box 134 | Stratford WI 54484  
 Tel 715.687.3250 | Free 888.264.4459  
 Fax 715.687.4657 | www.stratfordsign.com

## SHOP DRAWING

SHEET 1 of 1

**Client:** MBE CPAs  
**Project:** Fort Atkinson Signage

**Contact:** Arthur Kumiega  
**Phone:** 920-563-5563  
**Email:** akumiega@remsmbe.com

**Project Mgr:** Justin Rothamer  
**Drawn By:** Derek Austin

**PROOF DATES**

**P1:** 2-13-26    **P2:** 00.00.00  
**P3:** 00.00.00    **P4:** 00.00.00  
**P5:** 00.00.00    **P6:** 00.00.00

**File Name:** M: MBE CPA - Fort Atkinson

Signage

Notes:

- APPROVED
- Approved w/ noted revisions
- Revise and submit new proof

\_\_\_\_\_  
 Signature

\_\_\_\_\_  
 Date

These drawings will be released to production once signed. SSC is not responsible for errors. Please check for misspellings, correct phone numbers & addresses, details regarding renderings, shop drawings, quantities, color, etc. Colors shown are for representation only. PMS colors must be requested at time of order to ensure accuracy and may not be guaranteed. Additional fee will apply if PMS sample is required. Any detail or dimension change may delay completion and may incur additional fee. All artwork is property of SSC and cannot be reproduced without permission. Fee may apply if reproduced by others.

(A) Alum Sign Cabinet  
 Painted White

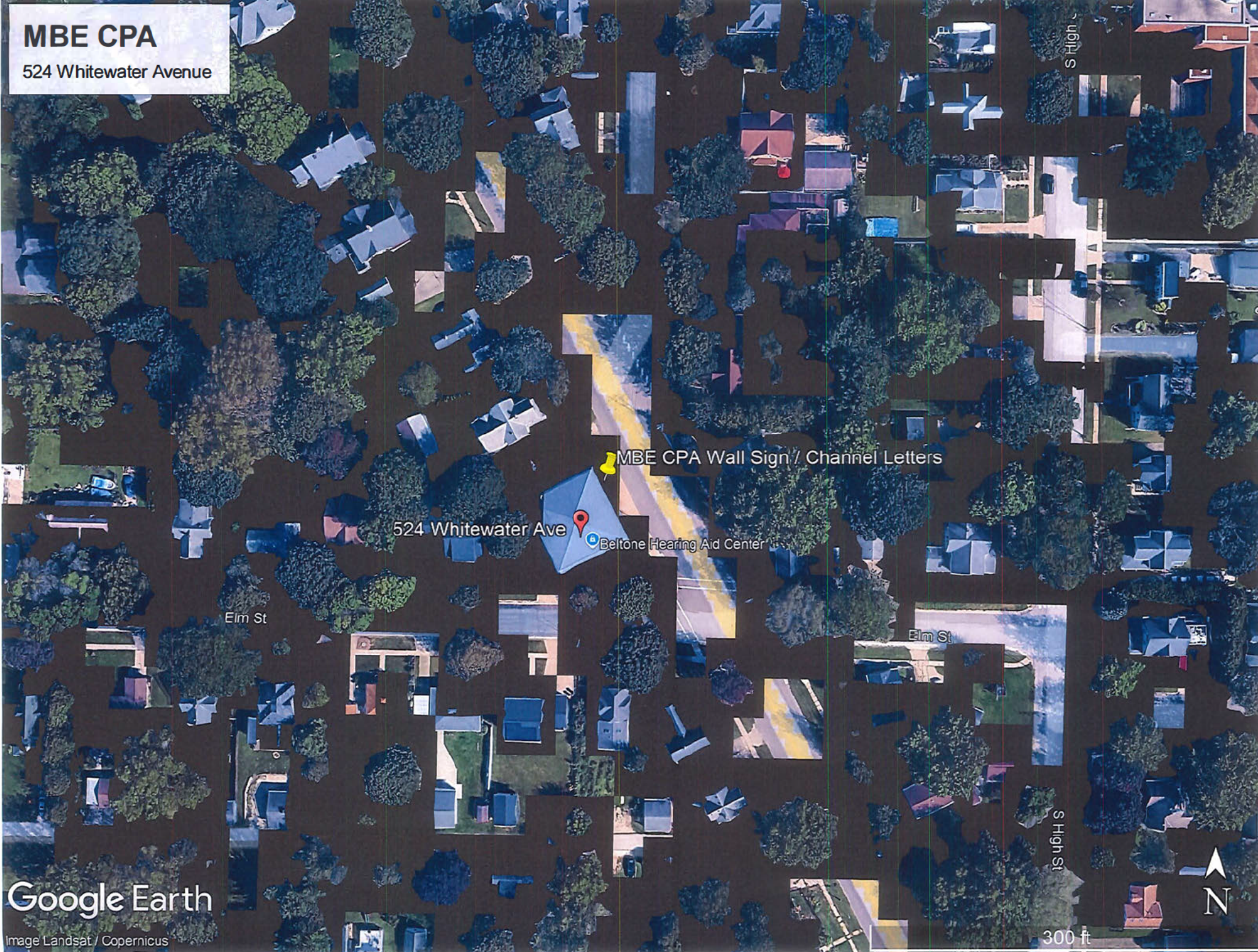


(B) 3M Printed Translucent Vinyl  
 Printed to Match PMS 874C / 442C / Black

(C) 3M Die-Cut Opaque Vinyl  
 Black 7125-12

**MBE CPA**

524 Whitewater Avenue



MBE CPA Wall Sign / Channel Letters

524 Whitewater Ave

Beltone Hearing Aid Center

Elm St

Elm St

S High St

Google Earth

Image Landsat / Copernicus

300 ft



Remove from here



Install here



**MBE CPA**

524 Whitewater Avenue



Google Earth

© 2026 Google

7.57 ft



**Building Sign**

Internally Lit  
Single Sided  
**QTY: 1**



212805 Connor Ave. | PO Box 134 | Stratford, WI 54484  
Tel 715.687.3250 | Free 888.264.4459  
Fax 715.687.4657 | www.stratfordsign.com

**ART PROOF**

SHEET 1 of 1

Order ID: <<Order Number>>  
PO #: <<PO Number>>  
Client: MBE CPA  
Project: Fort Adkinson  
Contact: Arthur Kumiega  
Phone: 920-563-5563  
Email: akumiega@rembsmbe.com  
Project Mgr: Dan Drexler  
Drawn By: Kelsey Lueddecke

**PROOF DATES**  
P1: 11.29.22 P2: 00.00.00  
P3: 00.00.00 P4: 00.00.00  
P5: 00.00.00 P6: 00.00.00

File Name: M: MBE CPA - Fort Adkinson

Signature

Notes:  
<<Notes>>

- APPROVED
- Approved w/ noted revisions
- Revise and submit new proof

Signature

Date

These drawings will be released to production once signed. SSC is not responsible for errors. Please check for misspellings, correct phone numbers & addresses, details regarding renderings, shop drawings, quantities, color, etc. Colors shown are for representation only. PMS colors must be requested at time of order to ensure accuracy and may not be guaranteed. Additional fee will apply if PMS sample is required. Any detail or dimensional change may delay completion and may incur additional fee. All artwork is property of SSC and cannot be reproduced without permission. Fee may apply if reproduced by others.



**(A)** 3M Printed Trans. Vinyl  
Printed to Match Renderings

**(B)** 3M Die-Cut Opaque Vinyl  
Black 7125-12

**(C)** 3M Die-Cut Dual Film Vinyl  
Black 3635-22

**Pantone 874C**

**Pantone 442C**

**Black**

**Fort Atkinson Home Repair Program Eligibility**
**Status: Approved**

The following information and documentation are required to determine eligibility for the Fort Atkinson Home Repair Program. All items must be submitted and verified before an application can be reviewed.

**Section 1 – Property Eligibility Requirements**

- Proof of Ownership (deed or title documentation)
- Proof of Homeowner's Insurance (current policy declarations page)
- Verification of Residence – Owner Occupied (applicant must reside in the home as primary residence)
- Current on Property Taxes (no delinquent taxes; see documentation requirements in Section 3)
- Minimum property ownership duration of **1 year** prior to application date
- Title Search (clear title required; no unresolved liens that would prevent project completion)

**Section 2 – Income Eligibility**

To qualify, total gross household income must fall at or below **80% of the Area Median Income (AMI)**.

Household Size	Low-Moderate (80% AMI)
1	\$61,400
2	\$70,200
3	\$78,950
4	\$87,700
5	\$94,750
6	\$101,750
7	\$108,750
8	\$115,800

*HUD Income Limits effective June 1, 2025.*

**Extremely Low Income:** At or below 30% of County Median Income.

**Low-Moderate Income:** Above 80% of County Median Income – not eligible for this program.

### Section 3 – Required Income & Financial Documentation

The following documents are required for all applicants. Items marked \* are required for every household member age 18 or older.

- Credit Report (pulled by Habitat for Humanity representative upon signed authorization)
- Two (2) most recent pay stubs for every household member age 18 or older \*
- Two (2) most recent years of federal tax returns (all pages and schedules) \*
- Verification of current status on Property Taxes (county tax statement or online printout, dated within 30 days)
- Two (2) most recent bank statements – all accounts, all pages
- Verification of current status on Mortgage Payments (most recent mortgage statement showing payment history)
- ACH Payment Authorization

### Section 4 – Scope of Work Overview

Habitat will serve as the general contractor; responsible for scope of work, homeowner applications, communication, project management and quality control. We will hire local, licensed and insured subcontractors who specialize in our scope of work needs while supporting Habitat's mission when possible. In some cases, contractors outside of Jefferson County may be required.

- Each project cap is **\$20,000**
- Primary focus are exterior critical home repairs which include:
  - Roofing
  - Windows
  - Siding
  - Soffit/Fascia/Gutters
  - Code remediation
  - Some accessibility modifications
- At the discretion of Habitat staff scope of work may include:
  - Plumbing
  - Electrical
  - HVAC
  - Foundation repair

**Fort Atkinson Home Repair Program Eligibility**

Status: Approved

**Document Information**
**Accountability and Responsibility**

<b>Accountable</b>	Special Programs
<b>Responsible</b>	All Teams

**Definitions**

Acronym, Word, or Phrase	Definition
Habitat WJR	Habitat for Humanity of Waukesha, Jefferson, and Rock Counties

**Related Documents and Training**

Document/Training Course ID and Title

**Revision History**

Revision	Approval Request	Effective Date	Author(s)	Description of Change
A	0003	26 FEB 2026	Elaina Rodriguez	Initial Release



**Habitat**  
for Humanity®

Waukesha - Jefferson - Rock

# Fort Atkinson Critical Repair Program



# Mission & Vision

Seeking to put God's love into action, Habitat for Humanity brings people together to build homes, communities, and hope.

A world where everyone has a decent place to live.

# Vision 2033

- Build 20 homes & complete 30 repairs annually across 3 communities
- Waukesha County → Jefferson County (2023) → Rock County (2025)

# History

- Established in 1989, built or renovated 70 homes in Waukesha County
- Currently have 25 homes under construction
- Twin home in Fort Atkinson estimated completion – April
- Served 24 families with critical home repair program since 2022 with projects up to \$20,000
- Program Administrator for DHS Lead Safe Home Program completed \$500,000+ in repairs
- 15 repairs in pipeline for 2026
- 2025 Certified CHDO Status
- Partner with Jefferson County At Home/RoxAnne to provide homebuyer counseling

# Program Design

- Critical repairs: roofs, windows, siding, porch, accessibility, code remediation
- Habitat serves as the general contractor: develop scope of work, collect bids, and ensure quality
- Hires local licensed contractors to perform the work
- Project cap \$20,000

# Income Range

Family Size	Minimal Annual	Maximum Annual
1	\$23,050.00	\$61,400.00
2	\$26,350.00	\$70,200.00
3	\$29,650.00	\$78,950.00
4	\$32,900.00	\$87,700.00
5	\$37,650.00	\$94,750.00
6	\$43,150.00	\$101,750.00
7	\$48,650.00	\$108,750.00
8	\$54,150.00	\$115,800.00

# Benefits of Habitat

- Sliding scale grant / loan repayment
- Serving low to very low-income homeowners
- 0% interest loan repayment to Habitat via ACH \$100 - \$200 month
- 12-36 month terms
- Leverage tax exempt status, and typical “Habitat” discount of 20% off markup
- No staffing support needed from City
- Compliant with affordable housing TIF requirement



During



After



Before



After



Before



After





# Organizational Capacity

- 27 Employees including ReStore
- Construction Department (10)
- Special Projects Manager oversee critical repair and LSHP
- Plug and play program design
- Federal Funding Expertise
- Audited Annually

# Proposed Investment

- Grant to Habitat to administer program
- Funds held in restricted account
- Quarterly reporting
- Cross promotion and publicity opportunities
- Improve blighted/homes in disrepair
- Work with building inspectors/City staff for referrals
- Keep owners in their homes
- Habitat to keep loan repayments as program administration fee 25% over 2 – 5 years

Total Investment	\$500,000
TIF Extension Funds	\$250,000
Fort Atkinson Community Fnd	\$250,000
Estimated # of projects	25
Estimated Loan Repayment	\$125,000



# Timeline / Next Steps

- Program eligibility guidelines approved through Plan Commission
- Fort Atkinson Community Foundation Grant application March
- Launch: June 2026
- Estimate funds will last 3 years



**Thank you!**





**Fort Atkinson Community Foundation**

244 N. Main Street  
Fort Atkinson, WI 53538

[facf@fortfoundation.org](mailto:facf@fortfoundation.org)  
[www.fortfoundation.org](http://www.fortfoundation.org)  
(920) 563-3210

**COMMUNITY GRANT REQUEST FORM**

1. Name, address and telephone number of the organization requesting funds.

Habitat for Humanity Waukesha County, Inc.  
Doing business as Habitat for Humanity Waukesha – Jefferson – Rock  
2020 Springdale Rd, Waukesha, WI 53186  
262-309-6025  
habitatwjr.org

2. Describe the organization (legal composition, directors and staff, purpose, history).

Habitat for Humanity of Waukesha - Jefferson – Rock (Habitat) is a 501(c)(3) nonprofit organization established in 1989. Habitat brings people together to build homes, communities, and hope. The organization’s vision is a world where everyone has a decent place to live.

Since its founding, the organization has built or renovated 71 homes and currently has 25 homes under construction. In 2023, Habitat expanded into Jefferson County, including Fort Atkinson, and in 2025 into Rock County as part of its Vision 2033 strategic plan to build 20 homes and complete 30 repairs annually across three counties.

The organization employs 27 staff members, including a dedicated Construction Department of 10 professionals. For home repairs, Habitat serves as the general contractor for all projects, overseeing scope development, bidding, and quality control while hiring licensed local contractors to perform the work. The organization is annually audited, maintains strong federal funding compliance expertise, and received Certified CHDO (Community Housing Development Organization) status in 2025.

3. Is your organization classified as a 501(c)3? Y or N. Tax ID# 39-1642114  
\_\_\_\_\_

4. If no, what is your IRS classification? \_\_\_\_\_

5. Amount of money being requested?  
\$250,000

6. When will the funds be needed?  
June 2026

7. Please give a detailed explanation of how the funds will be used. Attach any supporting information that may be helpful to the Directors as they consider the request.

## **How the Funds Will Be Used**

### **Types of Repairs Supported**

The program addresses critical health, safety, and code-related repairs for low- and very low-income homeowners, including:

- Roof replacement
- Windows and siding
- Porch and structural repairs
- Accessibility modifications
- Code remediation and safety improvements
- Targeted program marketing and outreach, including mailers, informational materials, and community engagement efforts to ensure eligible homeowners are aware of and can access the program

The maximum cost of each project is approximately \$20,000. Habitat will serve as the general contractor, developing the scope of work, collecting competitive bids, managing licensed contractors, and ensuring quality construction standards.

### **Contractor Procurement and Oversight**

For each repair project, Habitat attempts to obtain three bids from licensed and insured contractors. The organization has begun curating a list of qualified local contractors in Jefferson County who demonstrate strong workmanship and reliability, including positive Better Business Bureau ratings and Google reviews.

Habitat staff review each proposal to ensure the appropriate repairs are being addressed and assist homeowners in prioritizing repairs when multiple needs that exceed budget exist. In evaluating bids, Habitat considers scope of work, product quality, warranty coverage, price, timing, and prior working relationships. The lowest bid is not automatically selected; instead, Habitat seeks the best overall value and long-term durability for the homeowner.

### **Homeowner Participation and Repayment Structure**

Participating homeowners must demonstrate creditworthiness and the ability to repay a portion of the repair costs. Modest monthly payments ensure homeowners are active partners in the repair process and support Habitat's "hand up not a hand out" principles.

Homeowners participate through a sliding scale grant and 0% interest loan model. Repayments are structured based on household income and ability to pay, typically ranging from \$100–\$200 per month. These amounts serve as a general guideline, Habitat has the discretion to accept lower repayment amounts when appropriate to ensure repairs remain accessible for very low-income households.

### **Homeowner Application and Selection Process**

Homeowners apply online (<https://www.habitatwjr.org/repair-your-home>) or mail in an application and meet eligibility requirements before being approved for the program.

Habitat will create a Fort Atkinson repair specific page or call out on its website prior to launching the program in June 2026.

Key eligibility criteria include:

- Home must be owner-occupied and the applicant’s primary residence
- Applicant must have owned the property for at least one year
- Household income must fall at or below 80% of Area Median Income (AMI)
- Homeowner must be current on property taxes and mortgage obligations
- Homeowner must maintain property insurance
- Applicant must provide financial documentation and authorize a credit review

Applications are reviewed by Habitat staff to confirm eligibility, verify financial documentation, and determine the most appropriate scope of repairs. Priority is given to projects addressing health, safety, and code compliance issues.

A detailed Scope of Work and Homeowner Qualification Guide have been included as an Appendix A to the application.

### **Program Experience and Success in Waukesha County**

Habitat for Humanity has successfully operated a similar Critical Home Repair Program in Waukesha County since 2022. During that time, the organization has served nearly 30 families with repair projects valued at up to \$20,000 per home, leveraging approximately 500,000+ in repair value since the program’s inception.

These projects were funded through Community Development Block Grant (CDBG) resources. While CDBG funding has been valuable, it comes with significant federal compliance requirements and program restrictions that have limited the number of households Habitat has been able to serve.

The Fort Atkinson program has been designed with greater flexibility by while maintaining responsible underwriting and homeowner participation requirements. This approach will allow Habitat to and serve more families while preserving housing stability in the community.

### **Program Financial Management**

Funds will be held in a restricted account and used exclusively for eligible repair and program-related costs. Habitat will provide periodic reporting and oversight to ensure transparency and responsible stewardship of the funds.

### **8. How will the Fort Atkinson area benefit, should your organization be awarded a grant?**

The Critical Home Repair Program will provide meaningful benefit to both individual homeowners and the broader Fort Atkinson community. The City of Fort Atkinson approached Habitat for Humanity to explore a partnership addressing critical home repair needs, and this initiative was developed collaboratively to respond to shared priorities around housing preservation and neighborhood stability.

For participating households, repairs improve safety, structural integrity, accessibility, and overall quality of life. Addressing roofing, siding, windows, and code-related deficiencies help homeowners maintain insurability, reduce liability risks, and protect one of their most significant assets. These improvements allow residents—many of whom are long-term community members—to remain safely in their homes with dignity and stability.

At the community level, the program strengthens neighborhoods by reducing visible blight and improving curb appeal. Well-maintained homes positively influence surrounding properties and often inspire neighboring homeowners to invest in their own upkeep. Repair projects also

generate economic activity by hiring local licensed contractors and suppliers, directly supporting Fort Atkinson's small businesses. By preserving existing housing stock, the program protects property values, stabilizes blocks, and reinforces neighborhood pride.

9. How many individuals do you estimate will benefit from your project on an annual basis?

The program is projected to serve 5–10 homes per year in Fort Atkinson, benefiting approximately 20–40 individuals annually, depending on household size and project scope.

10. Describe the sources of other funds available, or being sought, to complete this project.

The project is supported by a \$250,000 allocation approved by the Fort Atkinson City Council. Habitat is requesting support from the Fort Atkinson Community Foundation to help match and leverage this municipal investment. A copy of the City Council resolution is included in Appendix B.

Habitat for Humanity is not taking a direct administrative percentage from the front-end grant. Instead, the organization will utilize existing internal resources to support program administration, including staffing for the Special Programs Manager overseeing the initiative and a Construction Site Assistant supporting field operations.

Under Habitat's typical project structure, an administrative fee of approximately 20% would be applied at the beginning of a project. For this pilot program, Habitat has elected to defer those administrative costs and instead recover them through homeowner loan repayments over time. These repayments will support Habitat's general administration.

This structure allows the maximum amount of grant funding to be directed toward direct home repairs while still providing the resources necessary to responsibly administer and manage the program.

11. Please explain how your project will be sustained into the future. Is there a plan for future funding or maintenance and who will be responsible for that?

This initiative is structured as a pilot program, with funding currently secured for the initial estimated 25 repair projects. Based on demonstrated success, measurable impact, and community demand, Habitat for Humanity may pursue additional funding from both the Fort Atkinson Community Foundation and the City of Fort Atkinson Affordable Housing TIF resources. The organization may also seek additional philanthropic support to expand or extend the program beyond the initial phase.

12. Please include financial statements for the last two years and year-to-date statements for the current year. These statements will need to consist of balance sheets for each of the three periods and operating statements showing actual results against budget for each period. Also show your sources of revenue.

Person representing applicant:

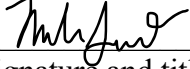
Name: Melissa Songco

Email: [melissa@habitatwaukesha.org](mailto:melissa@habitatwaukesha.org)

Address: 2020 Springdale Rd. Waukesha WI 53186

Phone: 262-729-3962

I hereby certify that all information submitted in connection with this application is true and correct to the best of my knowledge.

  
\_\_\_\_\_  
Signature and title

Date: 3/12/26

Melissa Songco  
\_\_\_\_\_  
Print name

\_\_\_\_\_  
Signature and title of supervisor, if applicable

The deadline for receipt of grant applications is March 15, June 15, Sept. 15, and Dec. 15. Foundation meetings to consider grant requests are held in January, April, July, and October.

Application may be mailed or delivered to: The Fort Atkinson Community Foundation, 244 North Main Street, Fort Atkinson, WI 53538 (Chamber of Commerce building).

**Fort Atkinson Home Repair Program Eligibility**
**Status: Approved**

The following information and documentation are required to determine eligibility for the Fort Atkinson Home Repair Program. All items must be submitted and verified before an application can be reviewed.

**Section 1 – Property Eligibility Requirements**

- Proof of Ownership (deed or title documentation)
- Proof of Homeowner's Insurance (current policy declarations page)
- Verification of Residence – Owner Occupied (applicant must reside in the home as primary residence)
- Current on Property Taxes (no delinquent taxes; see documentation requirements in Section 3)
- Minimum property ownership duration of **1 year** prior to application date
- Title Search (clear title required; no unresolved liens that would prevent project completion)

**Section 2 – Income Eligibility**

To qualify, total gross household income must fall at or below **80% of the Area Median Income (AMI)**.

Household Size	Low-Moderate (80% AMI)
1	\$61,400
2	\$70,200
3	\$78,950
4	\$87,700
5	\$94,750
6	\$101,750
7	\$108,750
8	\$115,800

*HUD Income Limits effective June 1, 2025.*

**Extremely Low Income:** At or below 30% of County Median Income.

**Low-Moderate Income:** Above 80% of County Median Income – not eligible for this program.

### Section 3 – Required Income & Financial Documentation

The following documents are required for all applicants. Items marked \* are required for every household member age 18 or older.

- Credit Report (pulled by Habitat for Humanity representative upon signed authorization)
- Two (2) most recent pay stubs for every household member age 18 or older \*
- Two (2) most recent years of federal tax returns (all pages and schedules) \*
- Verification of current status on Property Taxes (county tax statement or online printout, dated within 30 days)
- Two (2) most recent bank statements – all accounts, all pages
- Verification of current status on Mortgage Payments (most recent mortgage statement showing payment history)
- ACH Payment Authorization

### Section 4 – Scope of Work Overview

Habitat will serve as the general contractor; responsible for scope of work, homeowner applications, communication, project management and quality control. We will hire local, licensed and insured subcontractors who specialize in our scope of work needs while supporting Habitat's mission when possible. In some cases, contractors outside of Jefferson County may be required.

- Each project cap is **\$20,000**
- Primary focus are exterior critical home repairs which include:
  - Roofing
  - Windows
  - Siding
  - Soffit/Fascia/Gutters
  - Code remediation
  - Some accessibility modifications
- At the discretion of Habitat staff scope of work may include:
  - Plumbing
  - Electrical
  - HVAC
  - Foundation repair

RESOLUTION NO. 2026-1449

**RESOLUTION  
ALLOCATING FUNDS FROM THE CITY OF FORT ATKINSON'S AFFORDABLE HOUSING FUND TO  
HABITAT FOR HUMANITY OF WAUKESHA, JEFFERSON, AND ROCK COUNTIES FOR THE  
FORT ATKINSON CRITICAL REPAIR PROGRAM**

**WHEREAS**, the City of Fort Atkinson City Council ("City Council") adopted Resolution No. 2024-1422 on August 20, 2024, extending the life of Tax Increment District ("TID") No. 8 for one year to fund affordable housing programs and projects within the City of Fort Atkinson ("City"); an additional year; and

**WHEREAS**, the City Council adopted Resolutions No. 2025-1438 and 2025-1439 on August 19, 2025, extending the lives of TID No. 6 and TID No. 7, respectively, for one year to fund affordable housing program and projects within the City; and

**WHEREAS**, the City Council adopted the 2026 Budget in November 2025, which included Fund 9 (Section N), the Affordable Housing Fund ("AHF"), and as of March 31, 2026, there will be an estimated \$1,689,571 in the AHF; and

**WHEREAS**, Habitat for Humanity of Waukesha, Jefferson, and Rock Counties has proposed a Fort Atkinson Critical Repair Program for low-income homeowners within the City of Fort Atkinson that is compliant with the affordable housing fund requirements of the TID extension permitted by state law; and

**WHEREAS**, the City Council supports the goal of funding critical repairs such as roofs, windows, siding, porch, accessibility, and code remediation for owner-occupied single-family and two-family homes, and desires to use \$250,000 from the City's AHF as a grant to fund the proposed Critical Repair Program.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Fort Atkinson, Jefferson County, Wisconsin, that \$250,000 from the City's AHF be granted to Habitat for Humanity of Waukesha, Jefferson, and Rock Counties for the purpose of providing loans to eligible Fort Atkinson residents for the Critical Repair Program; and

**BE IT FURTHER RESOLVED** that the City Council hereby directs the City Manager to apply to the Fort Atkinson Community Foundation for a matching grant for Habitat for Humanity to further support the Program; and

**BE IT FURTHER RESOLVED** that the City Council assigns review and oversight of the Program to the Plan Commission, including the following: review and approval of the Program and Eligibility Guidelines; review of a monthly Program update from City staff; and an annual

report by Habitat staff relating to the use of funds and completion of projects until such time that the funds have been depleted.

Adopted and effective this 17<sup>th</sup> day of February 2026.

CITY OF FORT ATKINSON

  
\_\_\_\_\_  
Kyle Jaeckel, City Council President

ATTEST:

  
\_\_\_\_\_  
Michelle Ebbert, City Clerk/Treasurer/Finance Director